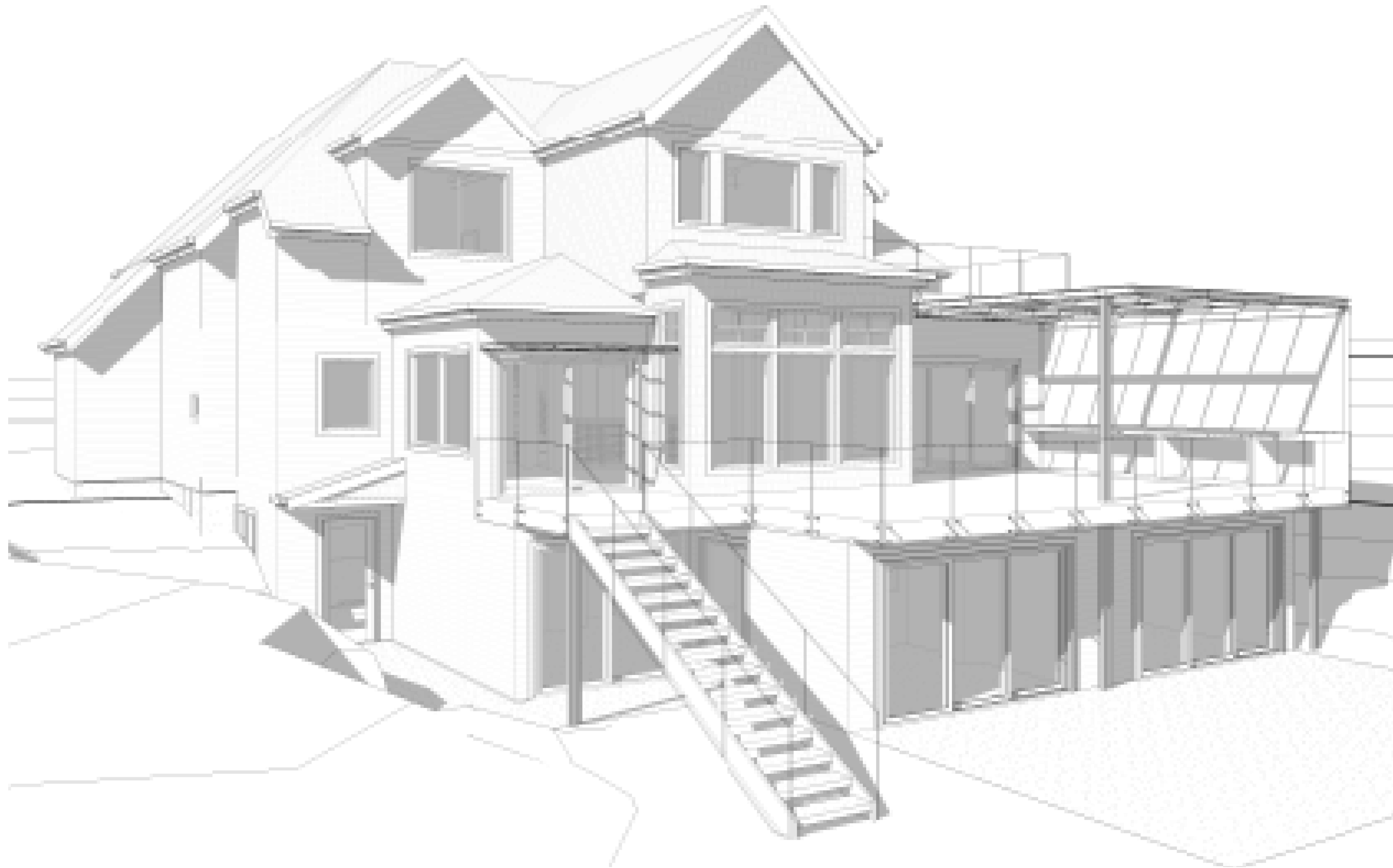


9820 SE 35TH PLACE MERCER ISLAND, WA. 98040



NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

NO EXCAVATION BEYOND FOUNDATIONS CALL 48 HOURS BEFORE YOU DIG 811 OR 1-800-424-5555

R9.6 BUILDING ZONE REQUIREMENTS

LOT COVERAGE: ALLOWED - 40%
 HARDSCAPE COVERAGE: ALLOWED 9% + BORROWED AREA
 GROSS FLOOR AREA: ALLOWED 8,000 SQ. FT.
 A.B.E. AND MAX HEIGHT: NEW ADDITION AREA
 A.B.E. AND MAX HEIGHT: NEW DETACHED GARAGE
 ALLOWED STRUCTURAL DISTURBANCE: 40%

SEE SHEET A0.1
 SEE SHEET A0.1
 SEE SHEET A0.1
 SEE SHEET A0.2
 SEE SHEET A0.2
 SEE SHEET A0.2

CODE INFORMATION

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF MERCER ISLAND
 2015 INTERNATIONAL BUILDING CODE (IBC)
 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2015 INTERNATIONAL MECHANICAL CODE (IMC)
 2015 INTERNATIONAL FUEL GAS CODE (IFGC)
 2015 INTERNATIONAL FIRE CODE (IFC)
 WASHINGTON STATE ENERGY CODE, WAC 51-11 (WSEC)
 2015 UNIFORM PLUMBING CODE (UPC)
 2014 NATIONAL ELECTRIC CODE (NEC)
 2015 NATIONAL FUEL GAS CODE (NFGC) NFPA 54, WAC

BUILDING CLASSIFICATION

A. OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENCE
 B. TYPE OF CONSTRUCTION:
 1. AUTOMATIC SPRINKLERS PROVIDED YES X NO
 SPRINKLER SYSTEM TO BE A FLOW THRU SYSTEM

THIS HOUSE HAS A FIRE ALARM SYSTEM INSTALLED.

ENERGY CODE COMPLIANCE

GENERAL PRESCRIPTIVE METHOD:
 SEE SHEETS A0.2, A0.3 & A5.0

ENERGY CREDITS PER TABLE 406.2.1:
 ADDITION TO EXISTING BUILDING GREATER THAN 500sf < 1500sf

OPTION 5c EFFICIENT WATER HEATING
 - GAS WATER HEATER, MIN. EF 0.91 1.5 CREDITS

TOTAL CREDITS REQUIRED SMALL DU: 1.5 CREDITS
 TOTAL CREDITS PROPOSED: 1.5 CREDITS

ZONING & CODE INFORMATION

JURISDICTION: CITY OF MERCER ISLAND
 ZONING: R9.6
 PARCEL ASSESSOR'S #: 082405-9027

LEGAL DESCRIPTION:

LOT 1 TGW SH LDS ADJ MERCER ISLAND SHORT PLAT NO 82-11-26 REC NO 8303109004 - LESS POR THOF LY NLY AND WLY OF FOLG DESC LN -- COMM AT NW COR OF SD LOT 1 TH S 88-49-28 E ALG NOTRH LAN THOF A DIST OF 82.40 FT TO TPOB OF HEREIN DESC LN TH S 01-10-32 W 4.54 FT TH S 64-49-53 W 9.36 FT TH N 88-49-28 W 21.64 FT TH S 64-21-02 W 8.31 FT TH S 51-11-48 W 14.70 FT TH N 88-49-28 W 33.69 FT TO WEST LN OF SD LOT 1 AND THE TERMINUS OF HEREIN DESC LN AKA "LOT 1" OF MERCER ISLAND LOT LINE ADJUSTMENT NO SUB01-009 REC NO 20021125900027 LY IN STR 08-24-05

OCCUPANCY: SINGLE FAMILY

SETBACKS AT REMODEL / ADDITION:

REMODEL CHANGES ARE LESS THAN 40% OF THE EXTERIOR (SEE CALCULATION SHEET) REFER TO PREVIOUS PERMIT #9908-047 APPROVED SITE PLAN 9-10-99 PER PRE-APPLICATION PERMIT #PRE20-038 EXISTING SETBACKS ARE VESTED

NEW CONSTRUCTION:

2 CAR DETACHED GARAGE- FRONT YARD: 20'-0" SIDE YARD: 10'-0"

PARKING REQUIRED: 2.0 PER DWELLING UNIT

PARKING PROVIDED: 2.0 IN ATTACHED GARAGE 2.0 IN NEW DETACHED GARAGE

PROJECT DESCRIPTION: ADDITION AND REMODEL TO SINGLE FAMILY RESIDENCE + DETACHED 2 CAR GARAGE

PROJECT CONTACT INFORMATION

OWNER: MARY & ACHIH CHEN
 9820 SE 35TH PLACE
 MERCER ISLAND, WA. 98040
 P: 706-726-3333
 E: maryrchen@yahoo.com

CONTRACTOR: T.B.D.

ARCHITECT: MEDICI ARCHITECTS
 EMILY BUCHWALTER, AIA
 11711 SE 8TH ST., SUITE 100
 BELLEVUE, WA 98005
 P: 425-453-9298
 E: priscilla@mediciarchitects.com

STRUCTURAL ENGINEER: FOSSATTI PAWLAK STRUCTURAL ENGINEERS
 PETE PAWLAK
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 SEATTLE, WA 98109
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 E: ppawlak@fossatti.com

CIVIL ENGINEER: CIVIL ENGINEERING SOLUTIONS
 ELLIS DUFFY, PE
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 SEATTLE, WA. 98107
 P: 206-930-0342
 E: duffy@cesolutions.us

ARBORIST: OLYMPIC NURSERY, INC.
 TOM QUIGLEY
 ISA CERTIFIED ARBORIST PN0655A
 P: 206-850-2643
 E: tqigley@msn.com

SURVEYOR: INFORMED LAND SURVEY
 EVAN WAHLSTROM
 P. O. BOX 5137
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 E: ewahlstrom@landsurvey.com

GEOTECHNICAL ENGINEER: GEO GROUP NW
 ADAM GASTON
 13705 BEL-RED ROAD
 BELLEVUE, WA. 98005
 P: 425-649-8757
 E: agaston@geogroupnw.com



VICINITY MAP

NTS PROJECT LOCATION



QT. SECT. MAP

NTS PROJECT LOCATION

DRAWING SHEET INDEX

CITY OF MERCER ISLAND COVER SHEET	
A0.0	TITLE SHEET
A0.1.0	SITE PLAN
A0.2	SITE PLAN CALCULATIONS
A0.2.1	STORMWATER CALCULATIONS
A0.3	GENERAL NOTES
A0.4	SCHEDULES
D1.0-D1.3	DEMOLITION PLANS
A1.0	FOUNDATION PLAN
A1.1	BASEMENT PLAN
A2.0	1ST FLOOR CONSTRUCTION PLAN
A2.1	2ND FLOOR CONSTRUCTION PLAN
A3.0	ROOF PLAN
A4.0-A4.1	ELEVATIONS
A5.0	SECTIONS
A6.0	DETAILS
A7.0	DETACHED GARAGE FLOOR & ROOF PLAN
A7.1	DETACHED GARAGE ELEVATIONS

STRUCTURAL SHEET INDEX

S2.1	FOUNDATION PLAN
S2.2	1ST FLOOR FRAMING PLAN
S2.3	2ND FLOOR FRAMING PLAN
S2.4	ROOF FRAMING PLAN
S3.1	CONCRETE DETAILS
S4.1	SECTIONS
S4.2	SECTIONS

CIVIL SHEET INDEX

C1.0	EROSION CONTROL PLAN
	TREE RETENTION PLAN
C1.2	TESC & CITY NOTES
	TESC DETAILS
C2.0	DRAINAGE / CIVIL PLAN
C3.5	BMP DETAILS

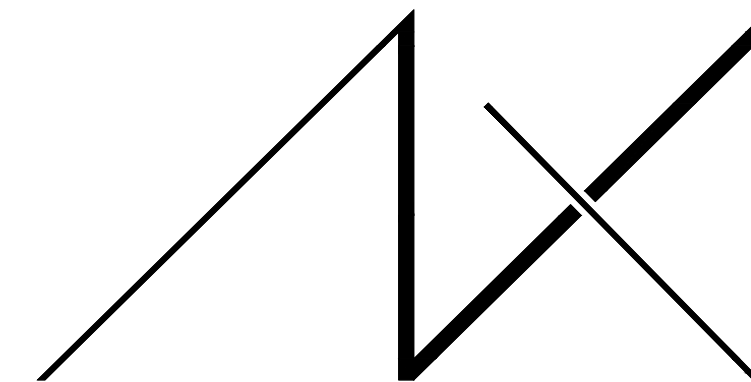
SURVEY:

TOPOGRAPHIC SURVEY INCLUDED

DEFERRED SUBMITTAL:

THE FOLLOWING ITEMS ARE CONSIDERED TO BE A DEFERRED SUBMITTAL UNDER SECTION 107.3.4.1 OF THE IBC AND MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW. THESE ITEMS WILL THEN BE FORWARDED TO THE BUILDING OFFICIAL FOR APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL:
 *PRE-ENGINEERED INTERIOR STEEL STAIRS, HANDRAILS, BALCONY GUARDS, EXTERIOR STEEL STAIRS, STEEL FRAME CANOPY, ELECTRICAL, MECHANICAL AND PLUMBING.

NOTE: ALL STRUCTURAL GLASS CONSTRUCTION (GUARDS, RAILING, ROOF PANELS, WALKWAY, STAIRS, ECT.) SPECIFYING THE DESIGN AND COORDINATED ATTACHMENTS SHALL BE SUBMITTED FOR REVIEW TO THE CITY PRIOR TO MANUFACTURING.

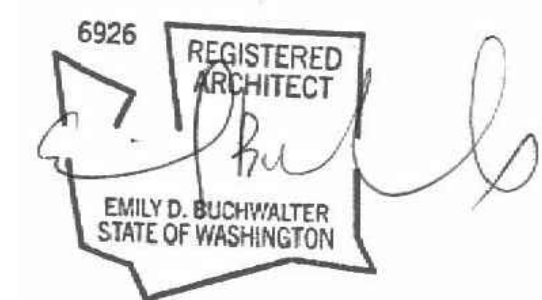


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 BELLEVUE, WA 98005
 TEL: (425) 453-9298

REGISTRATION:



INTAKE: DATE:

REVISIONS: DATE:

1. ADDED NOTE TO DEFERRED 05-20-2021
2. SUBMITTAL LIST
- 3.
- 4.
- 5.

PROJECT / CLIENT:

9820 SE 35TH PLACE

ACHIN & MARY CHEN
 9820 SE 35TH PLACE
 MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
 MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

TITLE SHEET

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

A0.0

9820 SE 35TH PLACE, MERCER ISLAND, WA. 98040

TREE PROTECTION GUIDELINES

All remaining trees are to have a tree protection zone (TPZ) established before commencement of any construction or delivery activities. The following guidelines are to be observed and practiced during all construction activities.

- Access is to be restricted into TPZ's with readily visible temporary tree fencing along the LOD which completely surrounds the protected areas of retained trees. Fences shall be constructed of chain link and be at least 4 ft tall, constructed using pier block, and major roots should be avoided while staking.
- Highly visible signs spaced no further than 15 feet shall be placed along sides of the TPZ fencing.
- Construction materials or supplies, soil, debris, vehicles, and equipment are not to be parked or stored within TPZ.
- TPZ fences must be inspected prior to the beginning of any construction activities.
- Assess crew and contractor penalties, if necessary, to keep the TPZ's intact.
- Check the integrity of TPZ fences weekly, and repair or replace as needed.
- Wood chips should be used if possible to spread above root zones within the TPZ's to a depth of 6-8 inches for temporary protection.
- Cement trucks must not deposit waste or rinse out trucks in the TPZ.
- Avoid grade changes or trenching within or near the TPZ. If it is unavoidable, then follow the guidelines below.
- TPZ's may only be moved or accessed with permission from City Officials, and any work done within TPZ's must be done with a certified arborist present.
- If roots need to be pruned, they should be cut with pruning saws, made flush with the side of the trench.
- Trees should be watered twice a week if construction is to take place during hot summer months.

If excavation occurs within the driplines of trees scheduled for retention, the following procedures must be followed to protect them:

- The contractor shall verify the vertical and horizontal location of existing utilities to avoid conflicts and maintain minimum clearances; adjustment shall be made to the grade of the new utility as required.
- The inner root zone shall not be disturbed or cut (inner root zone = half the drip line radius).
- ISA Certified arborist must work with equipment operators during trenching/ excavation. The Arborist should have a shovel, hand pruners, loppers, handsaw, and a sawsall.
- If roots one inch or larger are damaged by equipment, the Arborist shall stop the equipment and have the dirt excavated by hand until the root can be cleanly cut. A clean straight cut shall be made to remove the damaged portion of root, and if possible the roots should be covered in moist burlap until recovered with dirt the same day.
- Boring or tunneling under roots of existing trees is a viable alternative to trenching through roots. It shall be performed under the supervision of an ISA Certified Arborist, and no roots 1 inch in diameter or larger shall be cut.
- The grade shall not be elevated or reduced within the critical root zone of trees to be preserved without the Planning Official's authorization based on recommendations from a qualified professional. The Planning Official may allow coverage of up to one half of the area of the tree's critical root zone with light soils (no clay) to the minimum depth necessary to carry out grading or landscaping plans, if it will not imperil the survival of the tree. Aeration devices may be required to ensure the tree's survival.

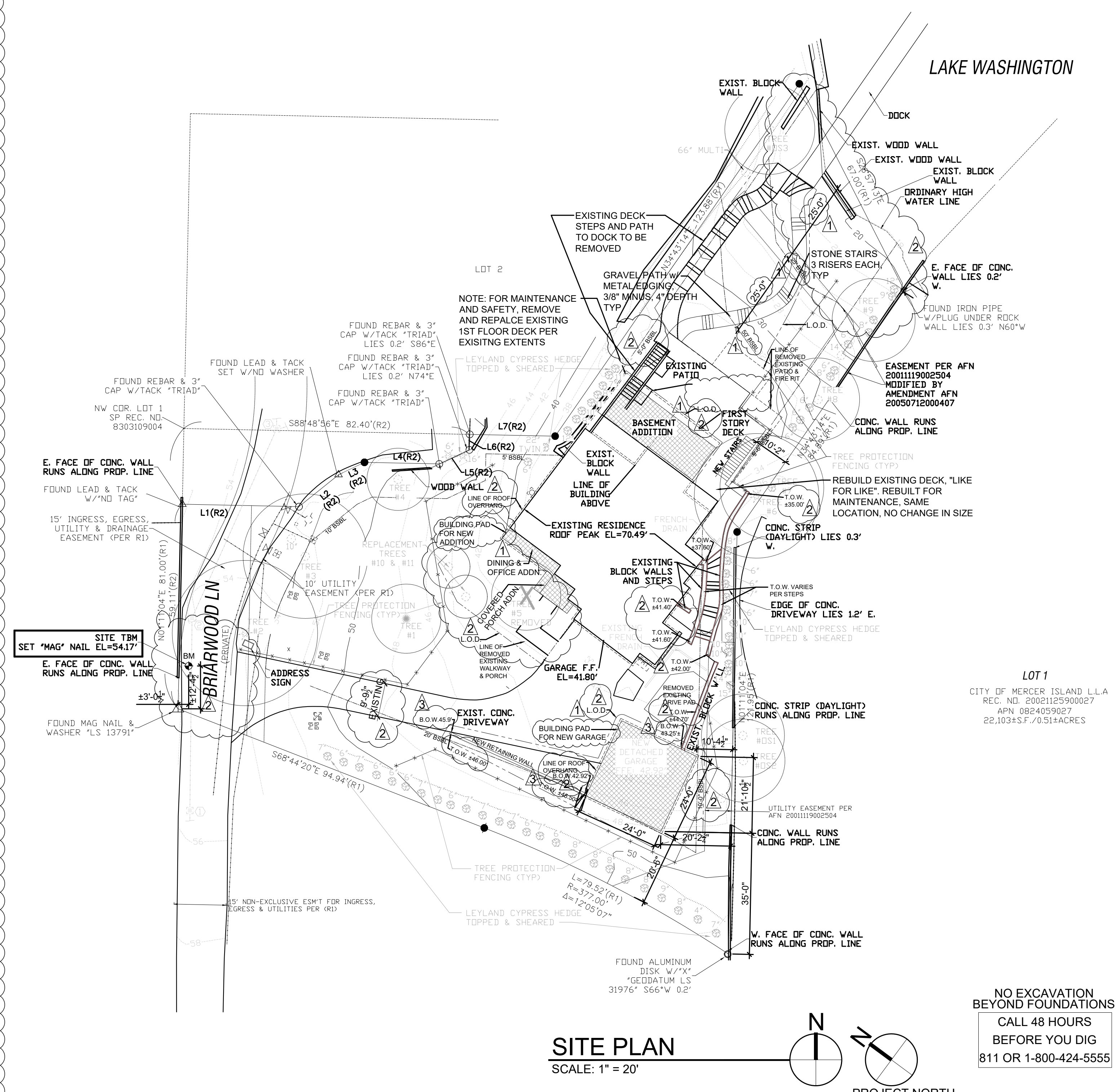
TREE RETENTION/ PROVISION CALCULATION				
EXISTING ON-SITE TREES	RETAIN	REMOVE	DBH	CREDIT
TREE #1 FLOWERING CHERRY	X		12"	2
TREE #2 Cedrus Atlantica, Atlas Cedar	X		29.5"	10
TREE #3 Quercus, Pin Oak	X		24.8"	8
TREE #4 Acer palmatum, Japanese Maple	X		12.5"	2
TREE #5 Acer palmatum, Japanese Maple		X	11.0"	1
TREE #6 Cedrus Atlantica, Atlas Cedar	X		26.0"	9
TREE #7 Acer Macrophyllum, Big Leaf Maple	X		17.4"	4
TREE #8 Fraxinus, Ash	X		21.0"	6
TREE #9 Fraxinus, Ash	X		14.0"	3
NEW TREES TO REPLACE REMOVED				
TREE #10 Amelanchier Alnifolia, Western Serviceberry	X (NEW) REPLACEME NT		2"	
TREE #11 Amelanchier Alnifolia, Western Serviceberry	X (NEW) REPLACEME NT		2"	
EXISTING OFF-SITE TREES w/ OVERHANGING LIMBS				
TREE # OS 1 Cupressocyparis Leylandii, Layland	X		est 18"	
TREE # OS 2 Cupressocyparis Leylandii, Layland	X		est 21"	
TREE # OS 3 Populus Nigra, Black Cottonwood	X		est 44"	
TOTAL CREDITS PROPOSED				
LOT SIZE			0.50	ACRES
TREES PER ACRE	PER KZC 95.33		30.0	
TOTAL CREDITS REQUIRED			15.0	
SUPPLEMENTAL TREES TO MEET MINIMUM SIZE WORTH ONE TREE CREDIT AS OUTLINED IN KZC 95.33(4)				

LOT COVERAGE	
LOT SIZE	22,103 SF
LOT COVERAGE ZONE % - RS 9.6 <15% SLOPE - 40%	8,841 SF
EXISTING LOT COVERAGE	
MAIN STRUCTURE ROOF AREA	2,476 SF
VEHICULAR USE	3,060 SF
TOTAL EXISTING LOT COVERAGE	5,536 SF
NEW LOT COVERAGE	
EXISTING LOT COVERAGE REMOVED	(515) SF
MAIN STRUCTURE ROOF AREA	532 SF
ACCESSORY STRUCTURE ROOF AREA	608 SF
VEHICULAR USE	204 SF
COVERED PATIOS/DECKS	66 SF
NEW LOT COVERAGE	895 SF
TOTAL LOT COVERAGE AREA	6,431 SF
%	29.10%

HARDSCAPE COVERAGE	
LOT SIZE	22,103 SF
BORROWED FROM LOT COVERAGE	2,410 SF
HARDSCAPE AREA ALLOWED = 9%+ BORROWED AREA	4,399 SF
% HARDSCAPE AREA ALLOWED	19.90%
EXISTING HARDSCAPE COVERAGE	
UNCOVERED DECKS	223 SF
UNCOVERED PATIOS	1,188 SF
WALKWAYS	175 SF
STAIRS	532 SF
ROCKERIES/RETAINING WALLS	241 SF
HARDSCAPE COVERAGE	2,359 SF
HARDSCAPE AREAS REMOVED	(1,122) SF
NEW HARDSCAPE COVERAGE	
UNCOVERED DECKS - REPLACED	75 SF
UNCOVERED PATIOS	60 SF
DOCK PATH	233 SF
STAIRS	49 SF
NEW RETAINING WALL	29 SF
COVERED DECK	60 SF
TOTAL NEW HARDSCAPE COVERAGE	506 SF

GROSS LOT COVERAGE CHANGE	
EXISTING LOT COVERAGE	5,536 SF
EXISTING HARDSCAPE COVERAGE	2,359 SF
TOTAL EXISTING GROSS COVERAGE	7,895 SF
REMOVED EXIST. LOT COVERAGE	(515) SF
REMOVED EXIST. HARDSCAPE	(1,122) SF
TOTAL REMOVED COVERAGE	-1,637 SF
NEW LOT COVERAGE	895 SF
NEW HARDSCAPE COVERAGE	506 SF
TOTAL NEW COVERAGE	1,401 SF
NEW GROSS COVERAGE TOTAL:	7,559 SF
NET GROSS COVERAGE CHANGED	-336 SF

GROSS FLOOR AREA CALCULATION ZONE R9.6 (FROM OUTSIDE PERIMETER OF THE EXTERIOR WALLS)				
FLOOR	EXIST. AREA	REMOVED AREA	NEW/ADD AREA	TOTAL
UPPER FLOOR	1,430		100	1,530
MAIN FLOOR	1,677		67	1,744
GROSS BASEMENT AREA	1,290	681	380	989
GARAGE	505			505
STAIR CASE GFA MODIFIER			92	92
TOTAL BUILDING AREA	4,902	681	639	4,860
ACCESSORY BUILDING			576	576
LOT AREA	ZONE	ALLOWED GROSS FLOOR AREA (SF)	ALLOWED GROSS FLOOR AREA (%)	
21,700	R9.6	8,000	36.87%	
PROPOSED GROSS FLOOR AREA SQUARE FOOTAGE:		5,436		
PROPOSED GROSS FLOOR AREA PERCENTAGE:		25.05%		

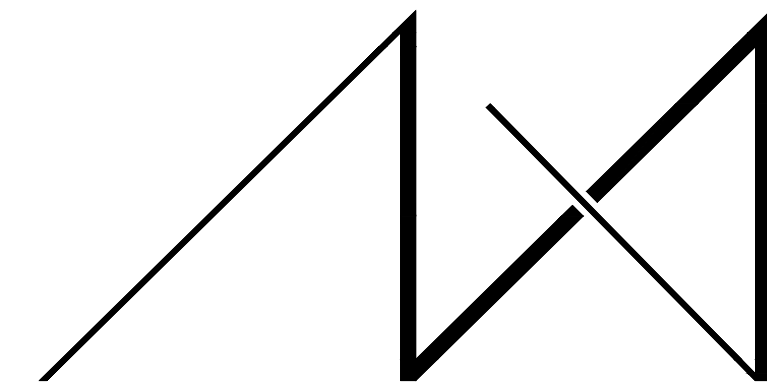


FIRE AREA CALCULATION (FROM INSIDE PERIMETER OF THE EXTERIOR WALLS)	
AREA	SQ. FTG.
BASEMENT	1,623
1st FLOOR	1,663
2nd FLOOR	1,756
ATTACHED GRAGE	486
COVERED PORCH	64
COVERED DECKS	363
COVERED PATIO	126

FIRE AREA CALCULATION (FROM INSIDE PERIMETER OF THE EXTERIOR WALLS)	
AREA	SQ. FTG.
BASEMENT	1,623
1st FLOOR	1,663
2nd FLOOR	1,756
ATTACHED GRAGE	486
COVERED PORCH	64
COVERED DECKS	363
COVERED PATIO	126

SYMBOL LEGEND:

- CENTER LINE
- SANITARY SEWER
- GAS SERVICE
- STORM DRAINAGE
- UNDERGROUND POWER
- WATER SERVICE
- LINE OF ROOF ABOVE
- ABE RECTANGLE
- BUILDING FOOTPRINT
- PROPERTY LINE
- SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EASEMENT LINE
- TREE FENCE
- RETAINING WALL
- LINE OF DISTURBANCE
- FG 386.0' FINISHED GRADE
- EG 386.0' EXISTING GRADE
- TOW 386.0' TOP OF WALL
- BOW 386.0' BOTTOM OF WALL
- ABE RECTANGLE MIDPOINT
- TREES
- TREE DRIPLINE
- TREE TO BE REMOVED
- POWER POLE WITH LIGHT
- CONCRETE
- BM BENCH MARK
- SSMH SANITARY SEWER MANHOLE
- BEARING 8 88° 52' 32" E 266.84'



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REGISTRATION:



INTAKE: DATE:

- REVISIONS: DATE:
1. Robin Proebsting comments 12-04-20
 2. PER COMMENT 01-2005-081- 04-01-2021
 3. SUB1-PLANS
 4. ADDED NOTES PER 05-20-2021
 5. 2005-081-SUB2-PLANS

PROJECT / CLIENT:

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
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PARCEL # 082405-9027

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DRAWING NAME:

SITE PLAN

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

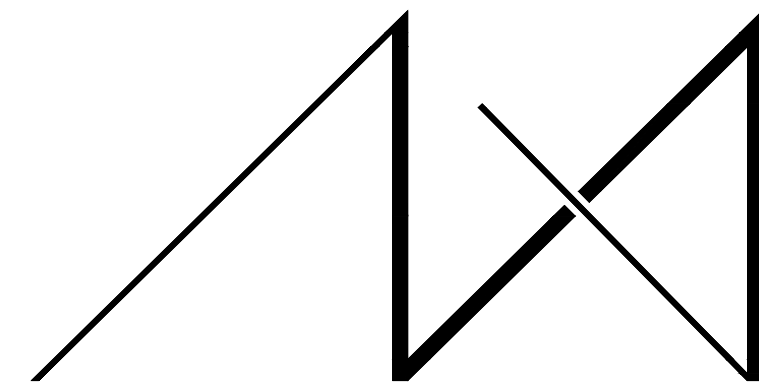
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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A0.1



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PARCEL # 082405-9027

DRAWING NAME:

SITE PLAN CALCULATIONS

Drawn By: JMG, RB
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Owner Approval:

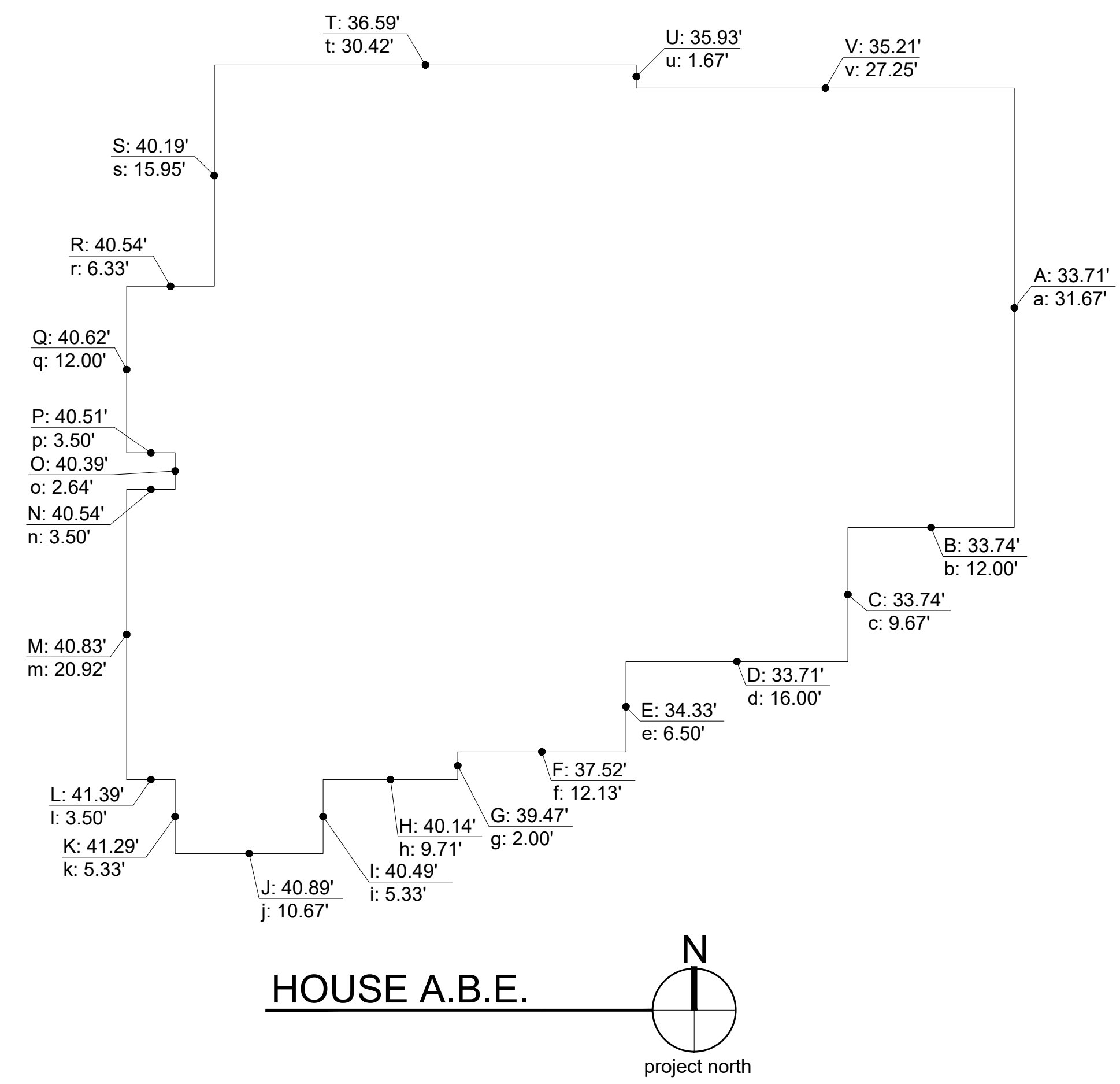
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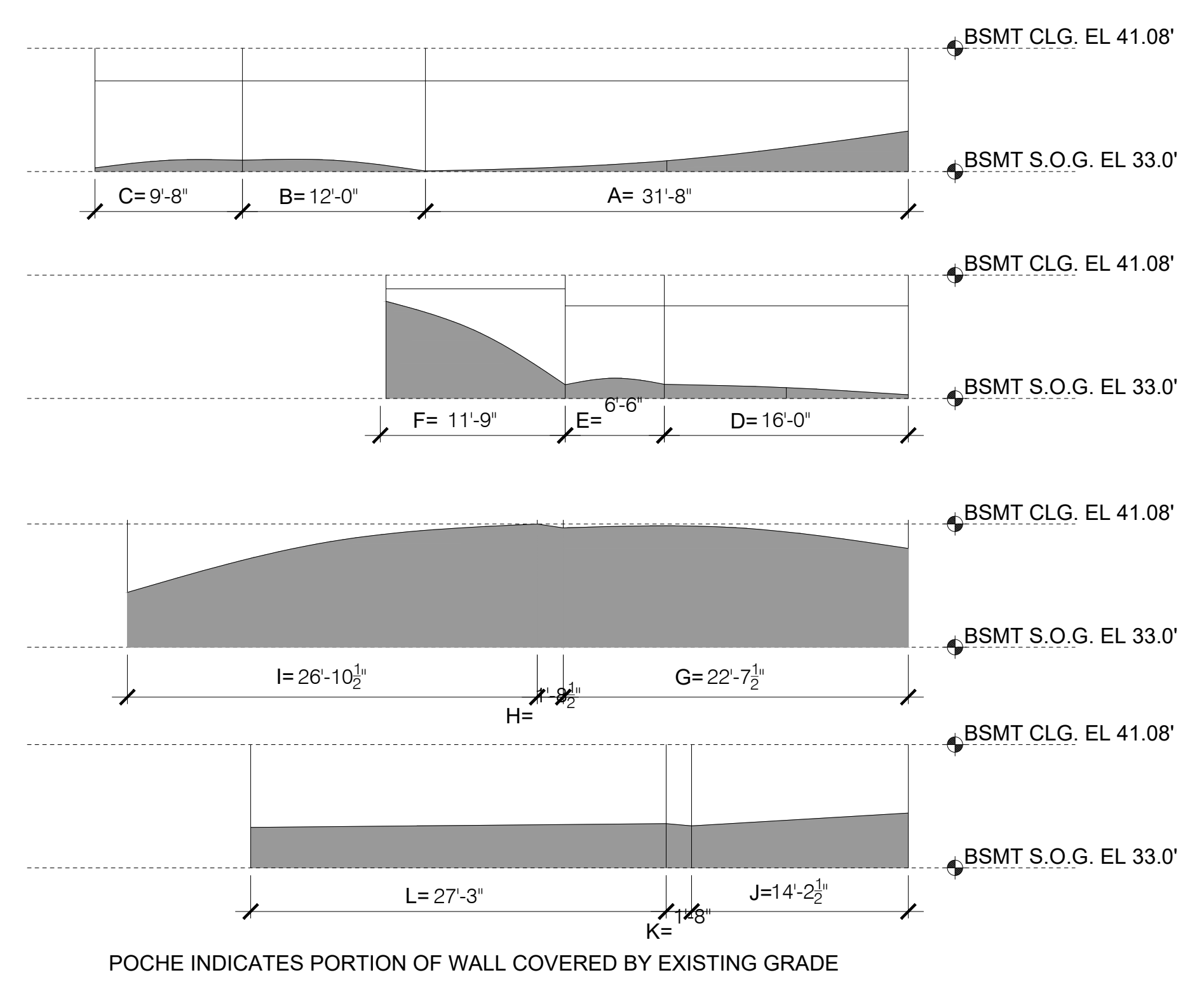
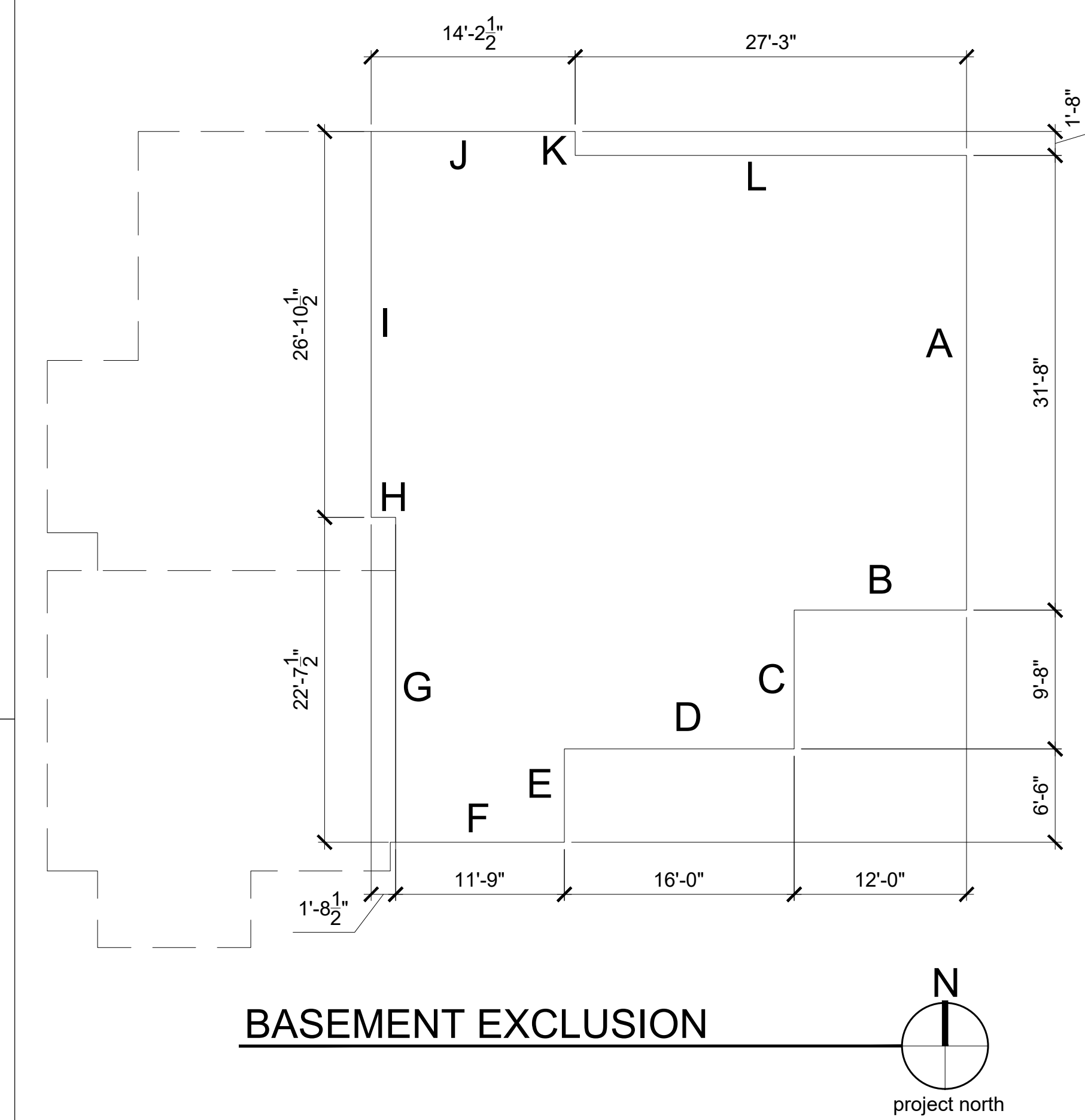
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APPROVED FOR CONSTRUCTION:

A.B.E. CALC MAIN HOUSE				
MIDPOINT ELEVATION	*	WALL LENGTH	=	
A	33.71	a	31.67	1,067.60
B	33.74	b	12.00	404.88
C	33.74	c	9.67	326.27
D	33.71	d	16.00	539.36
E	34.33	e	6.50	223.15
F	37.52	f	12.13	455.12
G	39.52	g	2.00	79.04
H	40.14	h	9.71	389.76
I	40.49	i	5.33	215.81
J	40.89	j	10.67	436.30
K	41.29	k	5.33	220.08
L	41.39	l	3.50	144.87
M	40.83	m	20.92	854.16
N	40.54	n	3.50	141.89
O	40.39	o	2.64	106.63
P	40.51	p	3.50	141.79
Q	40.62	q	12.00	487.44
R	40.54	r	6.33	256.62
S	40.19	s	15.95	641.03
T	36.59	t	30.42	1,113.07
U	35.93	u	1.67	60.00
V	35.21	v	27.25	959.47
TOTAL:			248.69	9,264.31
AVERAGE BUILDING ELEVATION:				37.25
MAX HEIGHT ALLOWED				+ 30.00
MAX ELEVATION				= 67.25
PROPOSED TOP OF ROOF				= 66.03
AMOUNT BELOW MAX:				= 1.22

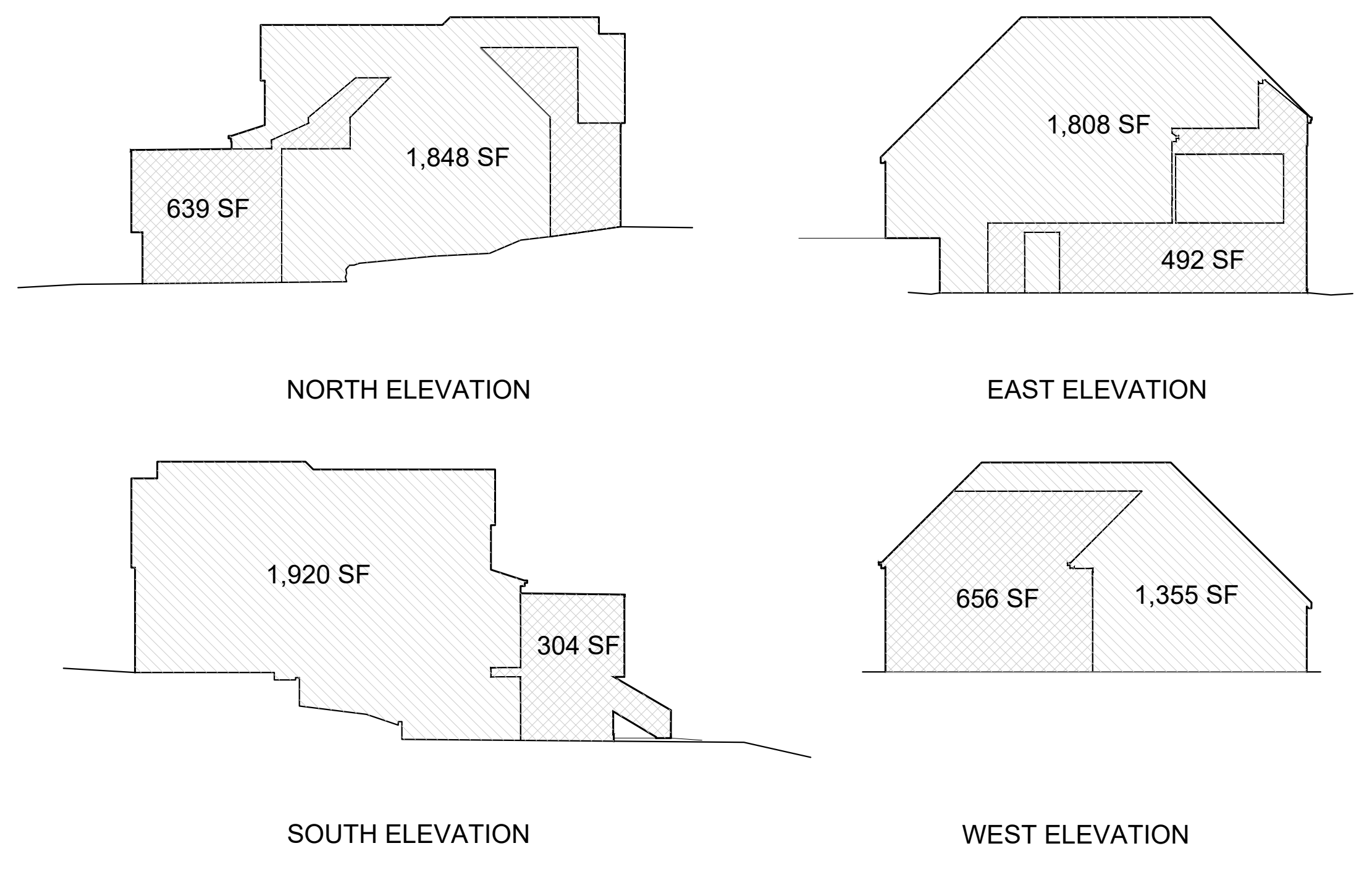
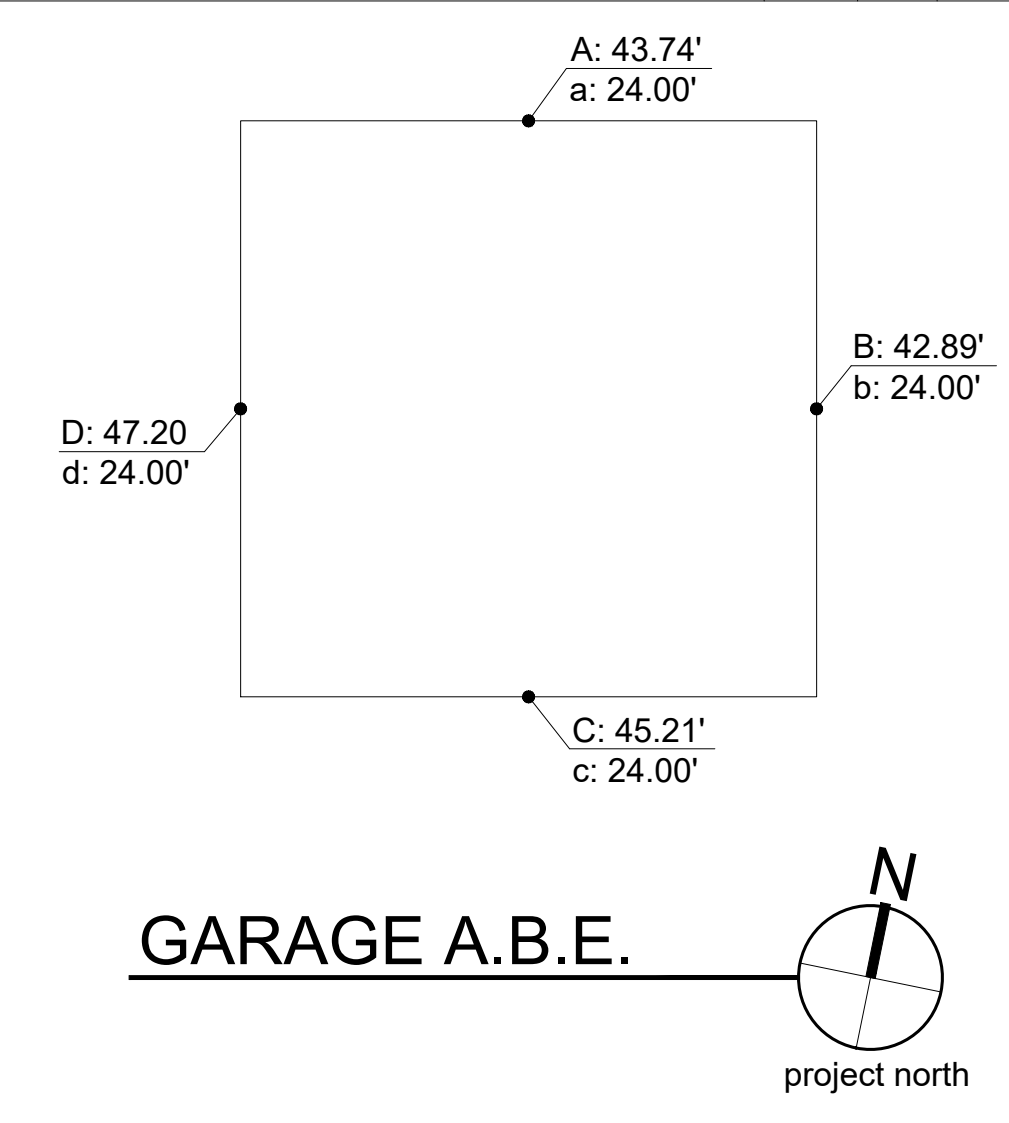


BASEMENT FLOOR AREA EXCLUSION			
WALL	LENGTH	COVERAGE	RESULT
A	31.67	9%	2.85
B	6.50	9%	0.59
C	12.13	9%	1.09
D	23.00	9%	2.07
E	1.71	16%	0.27
F	26.88	55%	14.78
G	14.81	97%	14.37
H	1.67	98%	1.64
I	27.63	86%	23.76
J	31.67	39%	12.35
K	12.00	35%	4.20
L	9.67	34%	3.29
TOTAL:	199.34		81.26
SQ. FT.		PERCENTAGE	EXCLUDED



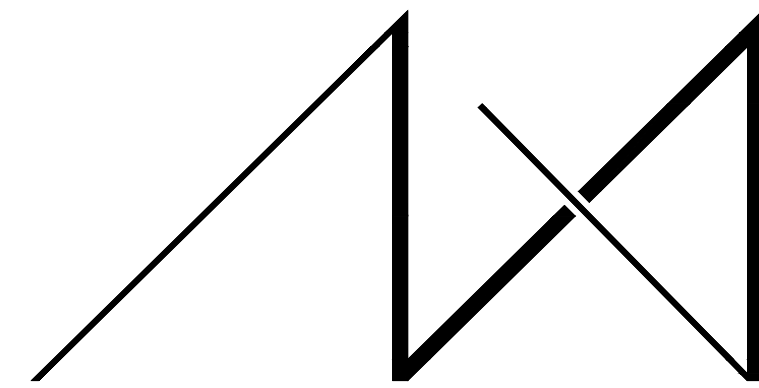
POCHE INDICATES PORTION OF WALL COVERED BY EXISTING GRADE

A.B.E. CALC DETACHED GARAGE				
MIDPOINT ELEVATION	*	WALL LENGTH	=	
A	43.74	a	24.00	1,049.76
B	42.89	b	24.00	1,029.36
C	45.21	c	24.00	1,085.04
D	47.20	d	24.00	1,132.80
TOTAL		96.00		4,296.96
AVERAGE BUILDING ELEVATION:				44.76
MAX HEIGHT ALLOWED				+ 17
MAX ELEVATION				= 61.76
PROPOSED TOP OF ROOF				= 61.26
AMOUNT BELOW MAX				= 0.50



40% EXTERIOR STRUCTURAL THRESHOLD:
ALL EXTERIOR SURFACE AREA 6,931 SF X 40%=2,772.4 SF
NORTH ELEVATION 639.0 SF
EAST ELEVATION 492.0 SF
SOUTH ELEVATION 304.0 SF
WEST ELEVATION 656.0 SF
ALTERED EXTERIOR AREA 2,091.0 SF < 2,772.4 SF

STRUCTURAL DISTURBANCE



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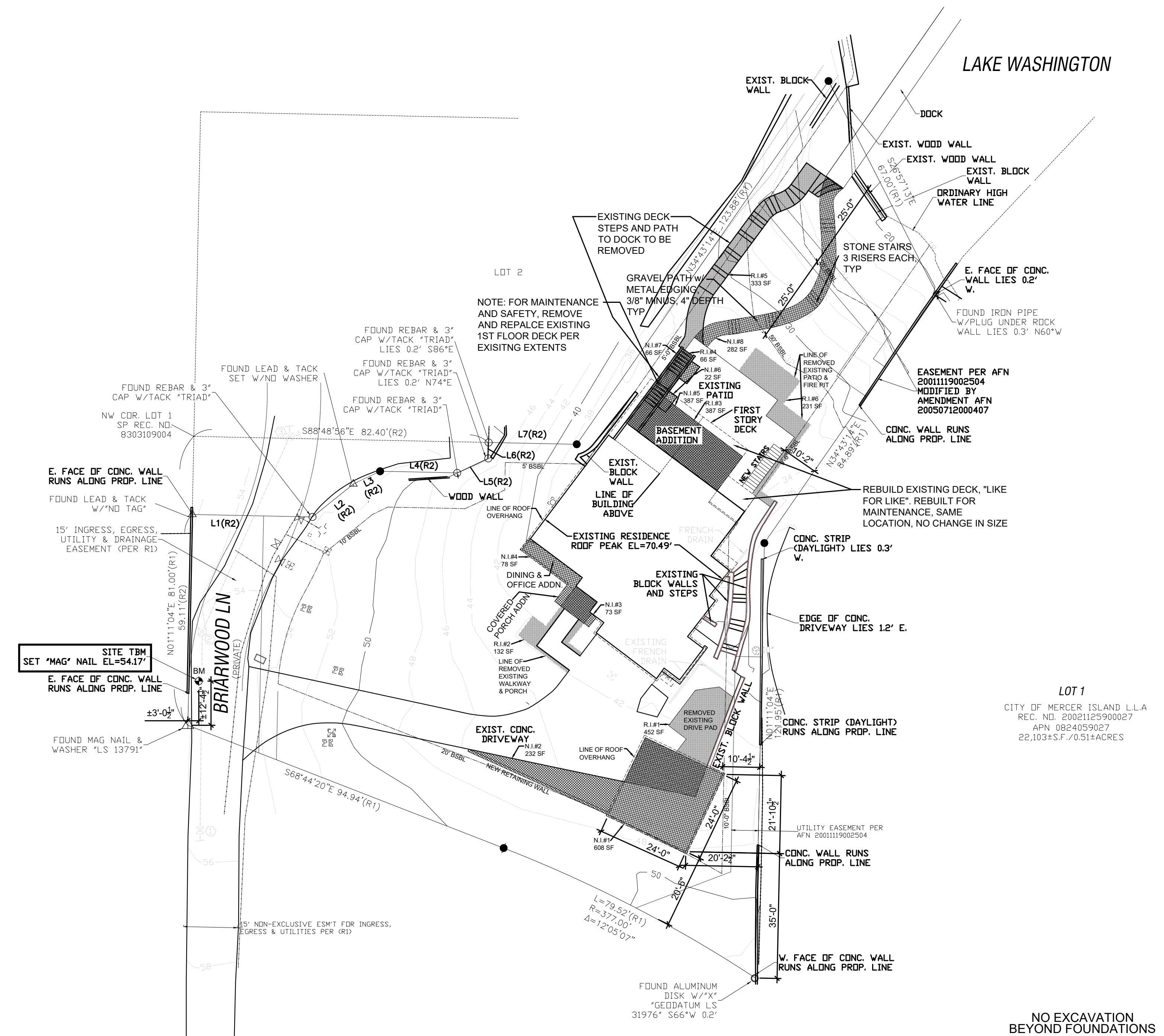
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1. PER COMMENT 01-2005-081-12-04-20
2. SUB1-PLANS 04-01-2021
3.
4.
5.

PROJECT / CLIENT:

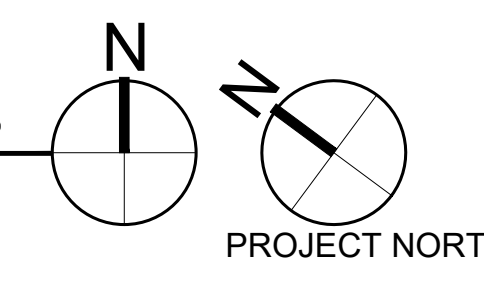
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9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027



STORMWATER AREA CHANGES
SCALE: 1" = 20'



NO EXCAVATION BEYOND FOUNDATIONS
CALL 48 HOURS BEFORE YOU DIG
811 OR 1-800-424-5555

STORMWATER IMPERVIOUS COVERAGE			
REMOVED IMPERVIOUS			
R.I. #	LOCATION	AREA	
1	EXISTING DRIVE PAD	452 SF	
2	FRONT PORCH/WALK	132 SF	
3	PATIO @ BASEMENT ADDITION	387 SF	
4	DECK STEPS	66 SF	
5	DOCK PATH & STEPS	333 SF	
6	EXISTING PATIO	231 SF	
TOTAL:		1,601 SF	
ADDED/REPLACED IMPERVIOUS			
N.I. #	LOCATION	AREA	
1	ACCESSORY BUILDING	608 SF	
2	DRIVE PAD/RETAINING WALL	232 SF	
3	ENTRY PORCH	73 SF	
4	NORTHWEST ADDITION	78 SF	
5	EAST BASEMENT ADDITION	387 SF	
6	FILLED PATIO PLANTERS	22 SF	
7	PATIO @ REMOVED DECK STEPS	66 SF	
8	GRAVEL DOCK PATH & STEPS	282 SF	
TOTAL:		1,748 SF	
DIFFERENCE:		147 SF	

SYMBOL LEGEND:
 REMOVED IMPERVIOUS SURFACE AREA
 NEW IMPERVIOUS SURFACE AREA

DRAWING NAME:

STORMWATER CALCULATIONS

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

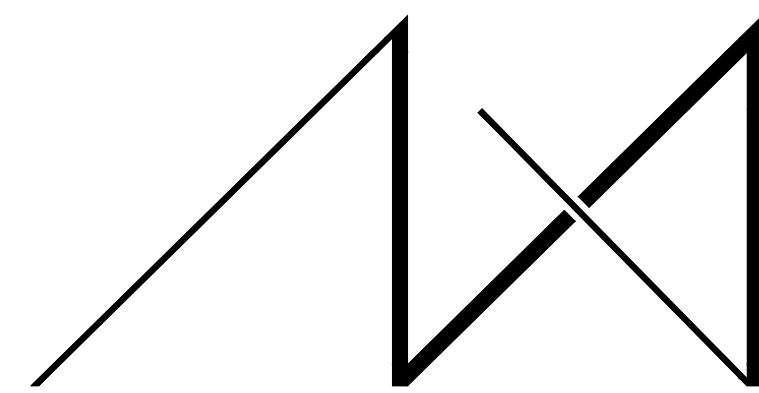
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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1 **A0.2.1**

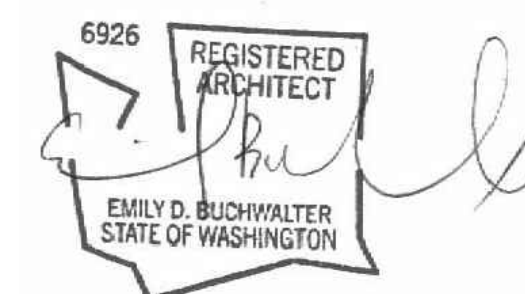


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REVISIONS: DATE:

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- 2.
- 3.
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- 5.

PROJECT / CLIENT:

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ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

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MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

SCHEDULES

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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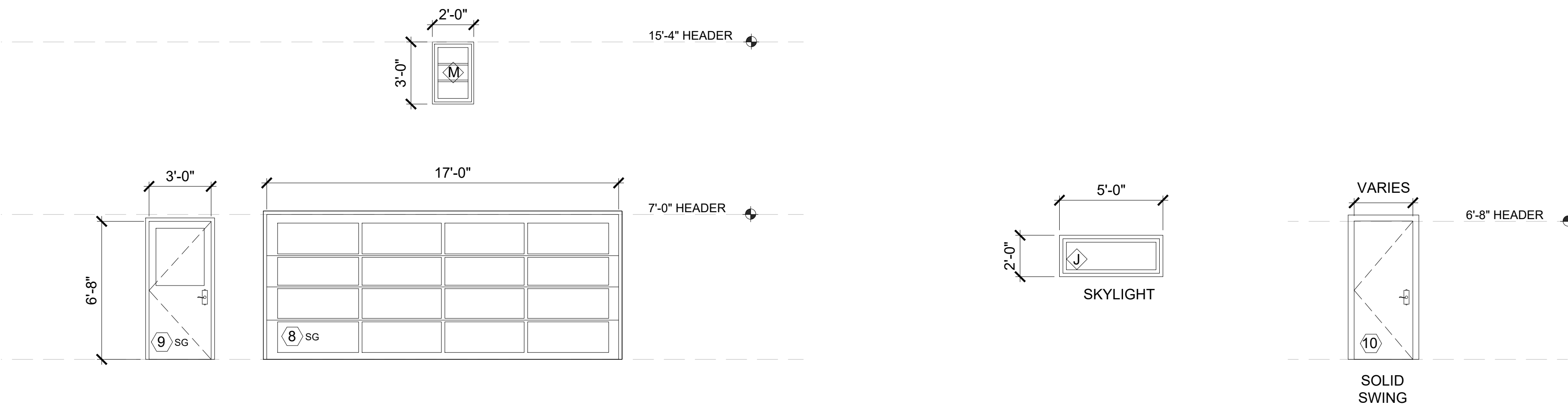
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

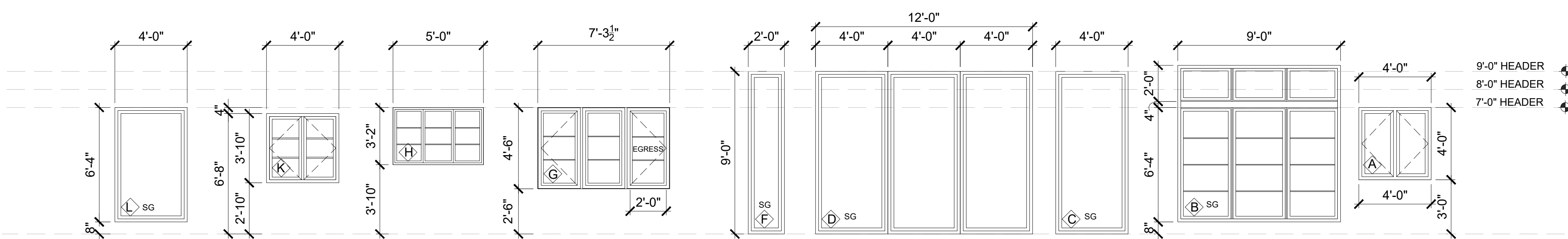
A0.4



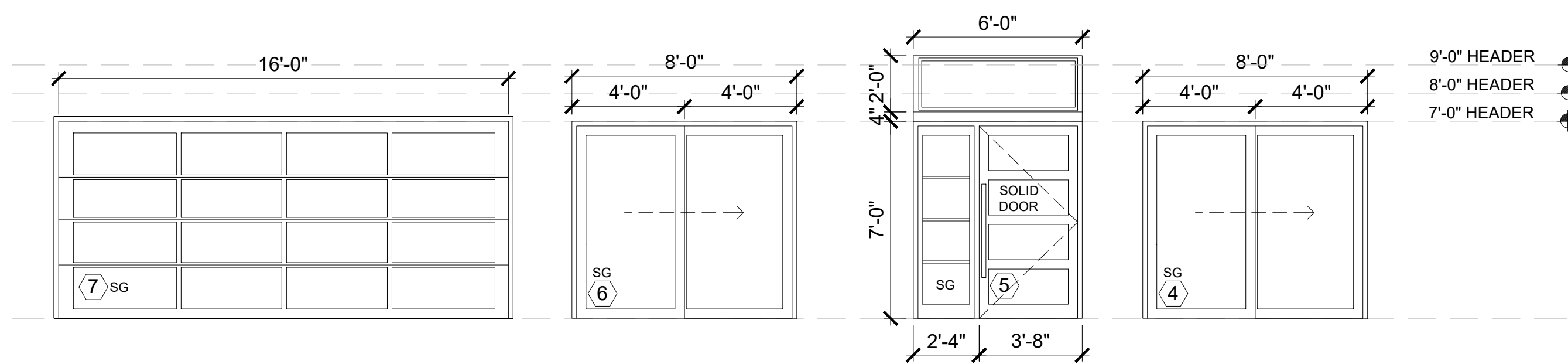
DETACHED GARAGE DOOR AND WINDOWS ELEVATIONS
SCALE: 1/4" = 1'-0"

SKYLIGHT ELEVATIONS
SCALE: 1/4" = 1'-0"

INTERIOR DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"



WINDOW ELEVATIONS
SCALE: 1/4" = 1'-0"



EXTERIOR DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

NOTE:
DIMENSIONS INDICATE ROUGH OPENINGS.
MANUFACTURER TO SIZE WINDOWS ACCORDINGLY.
FIELD MEASURE PRIOR TO ORDERING. VERIFY SIZE REQUIREMENTS FOR EGRESS.

INTERIOR DOOR SCHEDULE										
NO	Qty	LOCATION	W	H	MANUF	TYPE	HARDWARE	REMARKS		
10	1	OFFICE	2'-8"	6'-8"	TBD	SOLID SWING			ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 8'-0" DOORS	
1		DOOR COUNT								

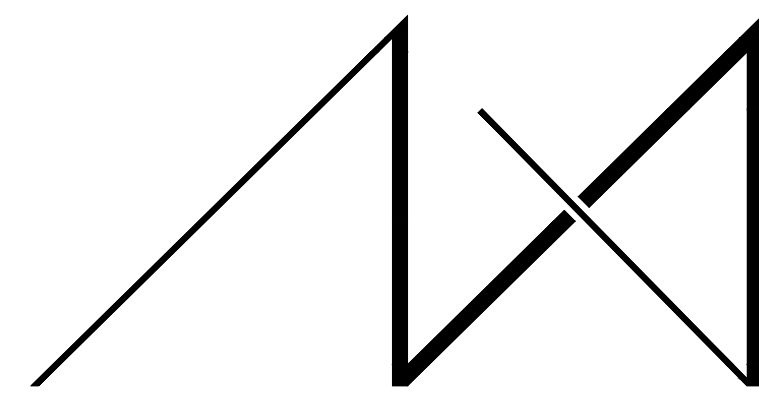
NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH LOCATION.
3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.
4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=28 MAX. PER WSEC 2015

WINDOW SCHEDULE											
NO	Qty	LOCATION	WIDTH	HEIGHT	AREA	MANUF.	U-VAL	TYPE	SCREEN	HARDWARE	REMARKS
A	1	NEW EXERCISE ROOM	4'-0"	4'-0"	16.00	TBD	0.28	CSMT/CSMT	Y	TBD	
B	1	FORMAL DINING ROOM	9'-0"	8'-4"	74.70	TBD	0.28	FIXED	N	TBD	TRANSOM,GRIDS
C	1	FAMILY ROOM	4'-0"	9'-0"	36.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS
D	1	FAMILY ROOM	12'-0"	9'-0"	108.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS, MULLED
E	1	EXISTING WINDOWS									
F	1	FAMILY ROOM	2'-0"	9'-0"	18.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS
G	1	BEDROOM 3	7'-3.5"	4'-6"	32.85	TBD	0.28	CSMT/CSMT/CSMT	Y	TBD	EGRESS, GRIDS
H	1	ABOVE FOYER	5'-0"	3'-2"	15.50	TBD	0.28	FIXED	N	TBD	GRIDS, SAFETY GLASS
I	1	NOT USED	0	0	0.00						
J	1	FOYER	2'-0"	5'-0"	10.00	TBD	0.43	SKYLIGHT	N	TBD	SKYLIGHT
K	1	NEW OFFICE	4'-0"	3'-10"	8.34	TBD	0.28	CSMT/CSMT	Y	TBD	GRIDS
L	2	NEW EXERCISE RM INTERIOR	4'-0"	6'-4"	50.40	TBD		FIXED	N	TBD	STOPPED IN GLASS
M	1	DETACHED GARAGE WINDOW	2'-0"	3'-0"	6.00	TBD		FIXED	N	TBD	NON CONDITIONED
					229.39		0.28			64.23	
					10.00	SF	0.43			4.3	
14		WINDOW COUNT						U X A =	68.53		NOTE: SEE A0.3 & A0.1.1.2 FOR WINDOW DIVISIONS

NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE. CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR SIZES AND EGRESS REQUIREMENTS PRIOR TO ORDERING. VERIFY SWING DIRECTION WITH OWNER
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH
3. ALL WINDOWS TO BE NFRC CERTIFIED AND LABELED

EXTERIOR DOOR SCHEDULE											
NO	Qty	LOCATION	W	H	MANUF.	AREA	U-VAL	TYPE	CONFIGURATION	HARDWARE	REMARKS
1	1	NEW EXERCISE ROOM	12'-0"	7'-0"	TBD	84.0	0.28	SLIDING	XXO		SAFETY GLASS
2	1	NEW SITTING ROOM	12'-0"	7'-0"	TBD	84.0	0.28	SLIDING	XXO		SAFETY GLASS
3	0	NOT USED	0	0	TBD	0.0	0.28				
4	1	KITCHEN	8'-0"	7'-0"	TBD	56.0	0.28	SLIDING	XO		SAFETY GLASS
5	1	FOYER	6'-0"	9'-0"	TBD	54.0	0.28	SOLID SWING WITH SIDE LITE & TRANSOM			ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 6'-8" 8'-0" DOORS SAFETY GLASS
6	1	MASTER BEDROOM	8'-0"	7'-0"	TBD	56.0	0.28	SLIDING	XO		SAFETY GLASS
7	1	GARAGE	16'-0"	7'-0"	TBD			OVER HEAD GARAGE DOOR	X		GARAGE DOOR OPENER. SEE ELEVATION FOR DOOR PATTERN
8	1	DETACHED GARAGE	17'-0"	7'-0"	TBD			OVER HEAD GARAGE DOOR	X		GARAGE DOOR OPENER. SEE ELEVATION FOR DOOR PATTERN
9	1	DETACHED GARAGE ENTRY	3'-0"	8'-0"	TBD		0.28	SOLID SWING	X		ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 6'-8" 8'-0" DOORS 1/2 LIGHT, SAFETY GLASS
TOTAL					SF	334.0	0.28	TOTAL U x A =	93.5		

NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.
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3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.
4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=28 MAX. PER WSEC 2015
5. ALL DOOR WITH GLAZING TO BE NFRC CERTIFIED AND LABELED



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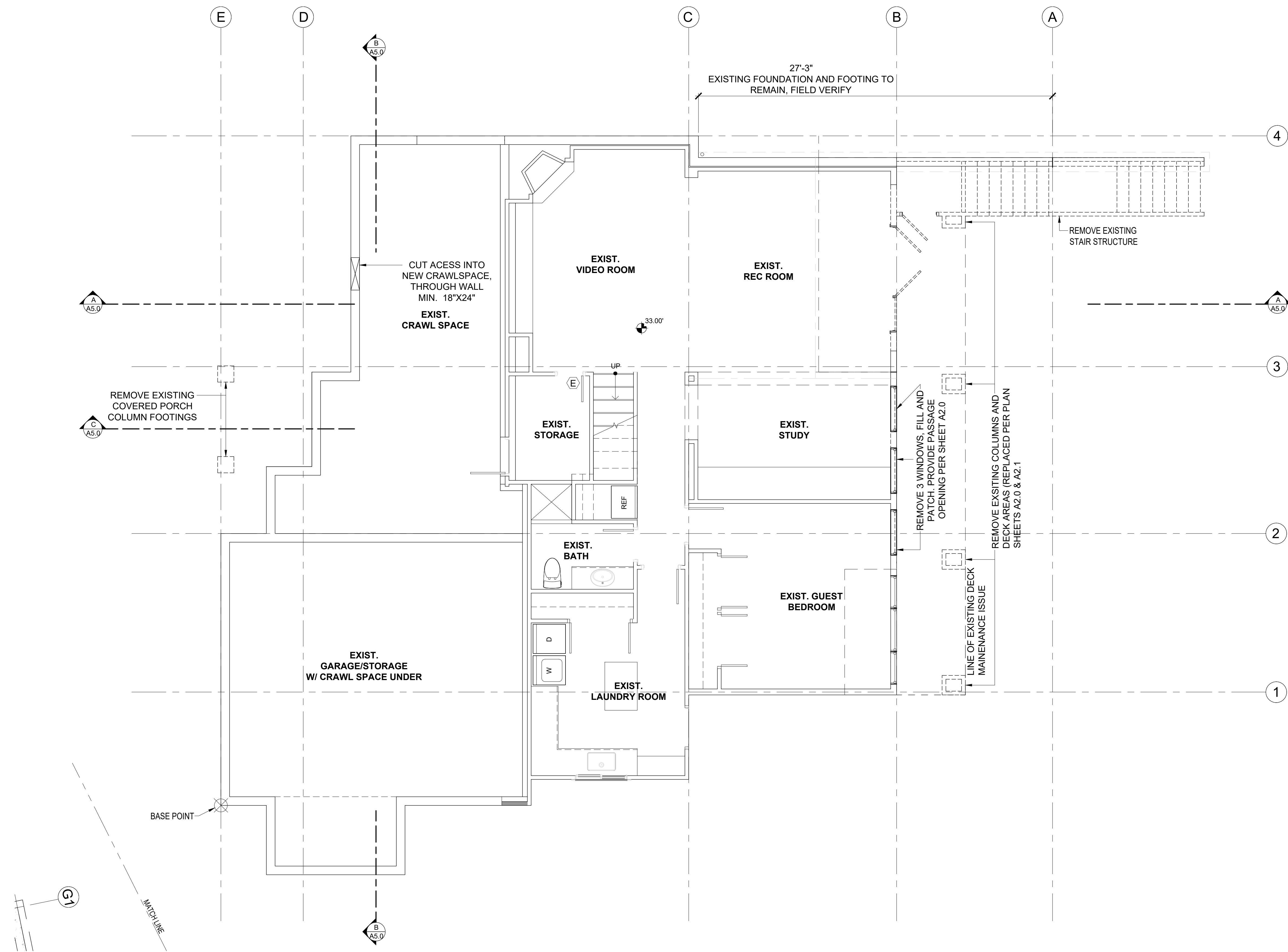
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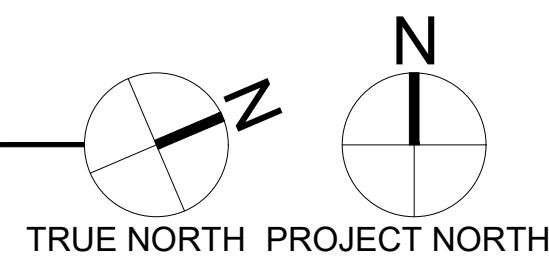
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PARCEL # 082405-9027



BASEMENT PLAN DEMO

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. REFER TO SITE PLAN FOR ANY SITEWORK TO BE REMOVED.
3. RELOCATE EXISTING UTILITIES AS REQUIRED TO ACCOMMODATE NEW ADDITION AND CONSTRUCTION. DISCONNECT OR CAP ANY UTILITIES AS REQUIRED.
5. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM SITE.
6. PROVIDE TEMPORARY SUPPORT WHILE INSERTING NEW BEAMS OR HEADERS.
7. CONTRACTOR TO SEAL OFF WORK AREAS TO REDUCE DUST FROM ENTERING OCCUPIED AREAS.
8. REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

DRAWING NAME:

DEMOLITION BASEMENT

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

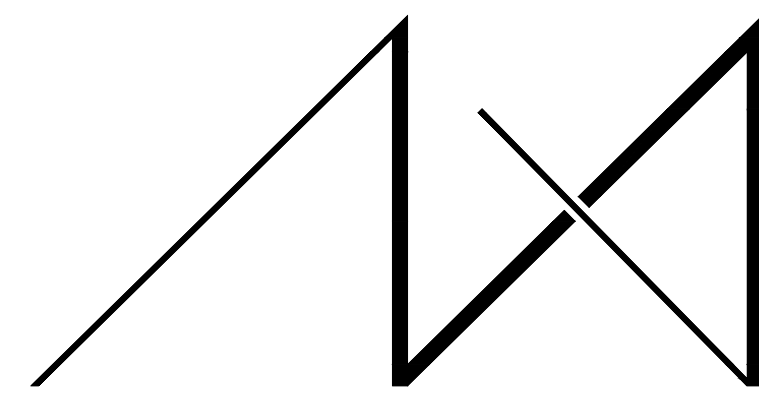
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PLOT SCALE: 1:1

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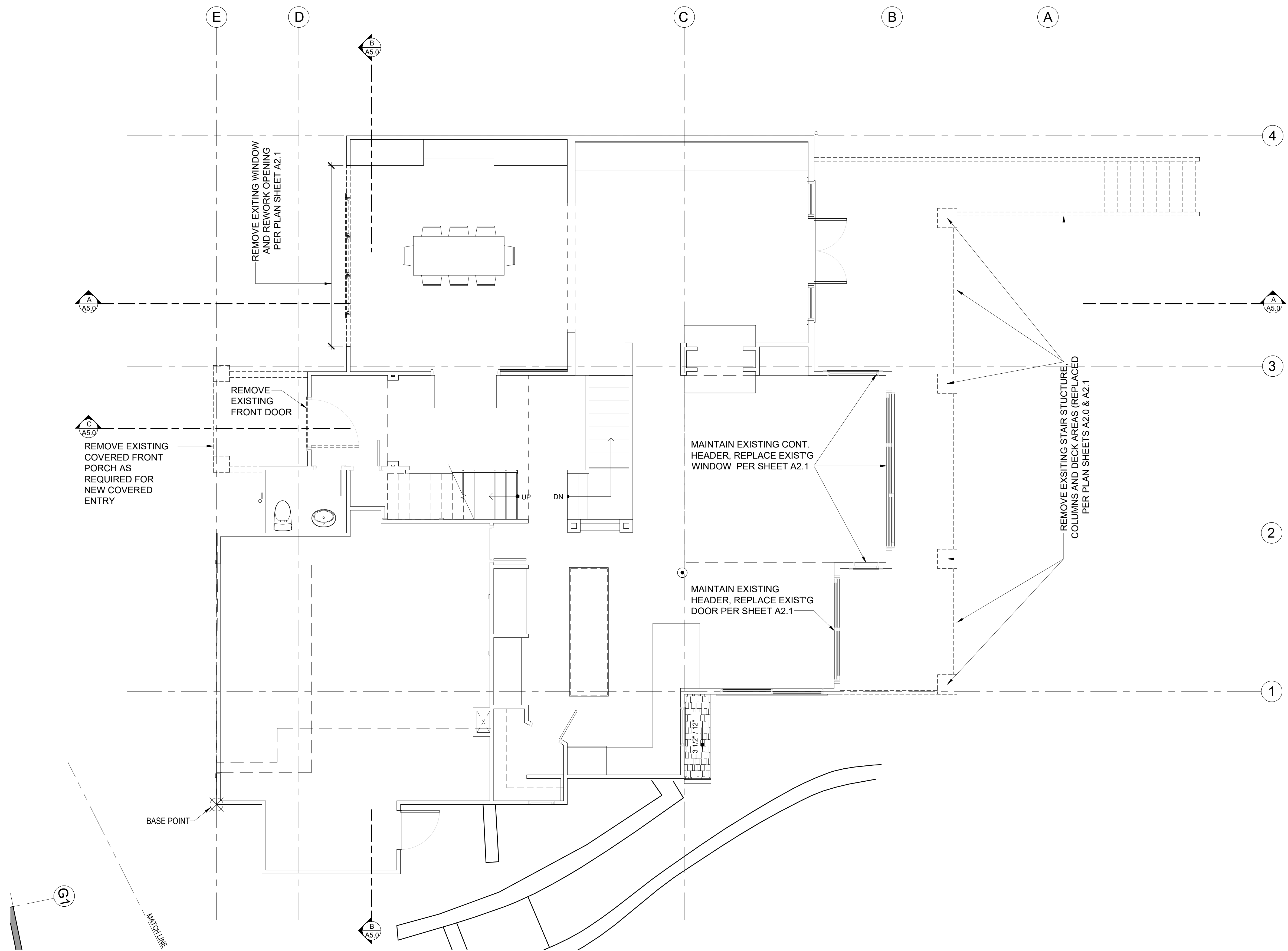
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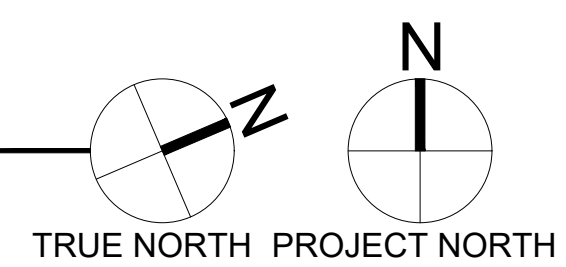
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1ST FLOOR PLAN DEMO

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN NOTES

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9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

DRAWING NAME:

DEMOLITION 1ST FLOOR

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

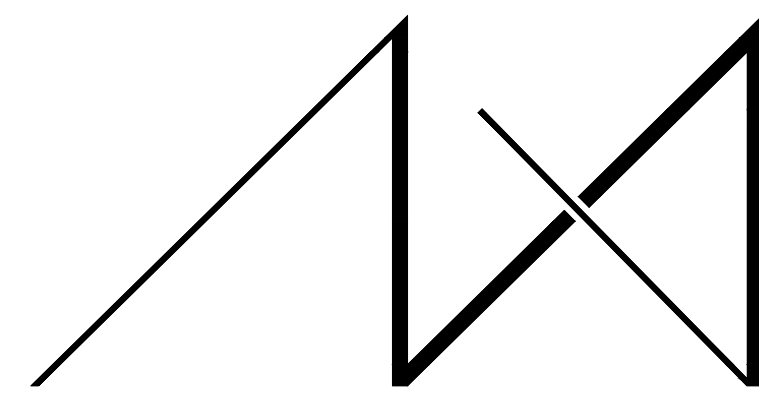
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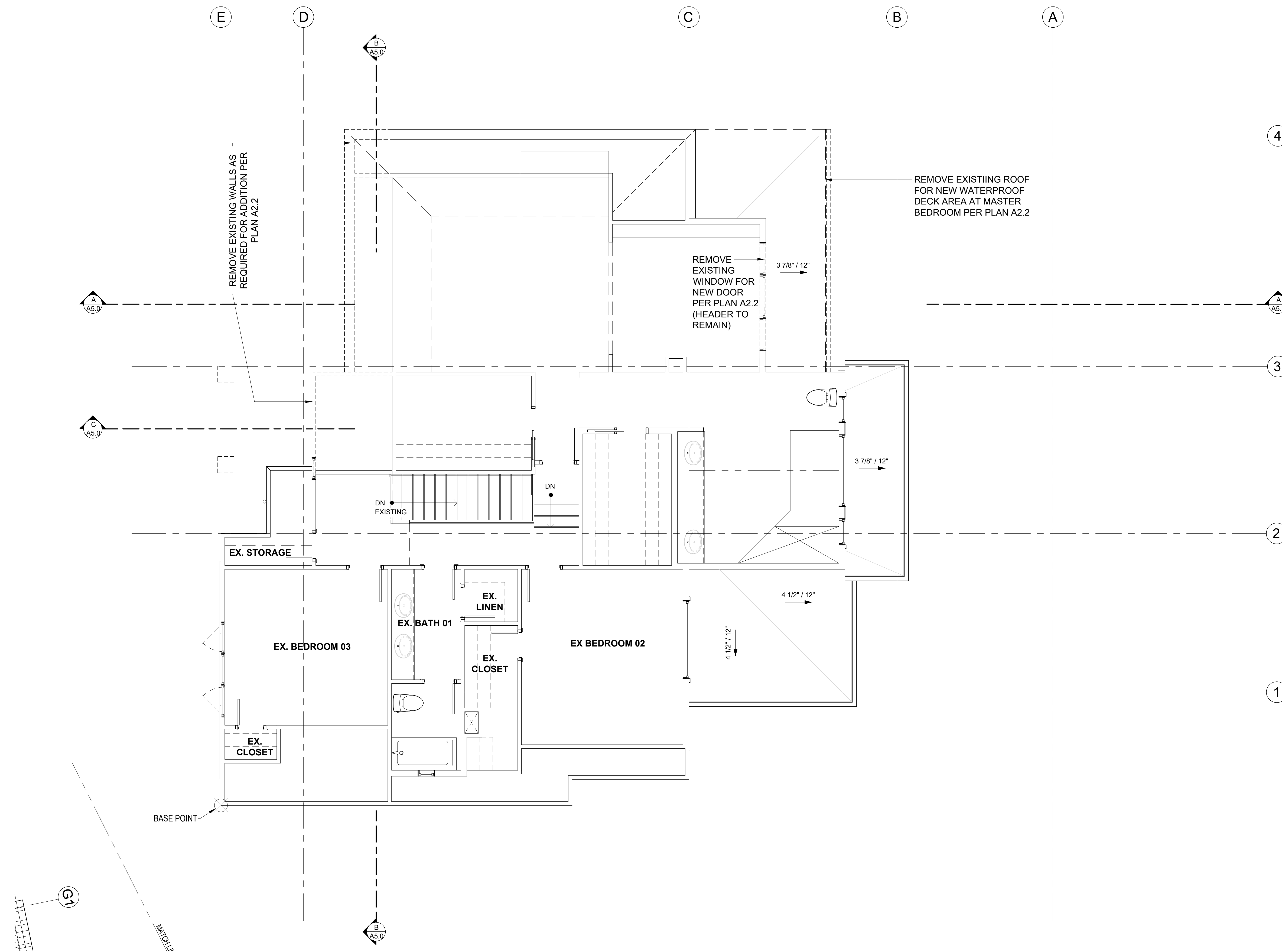
PROJECT / CLIENT:

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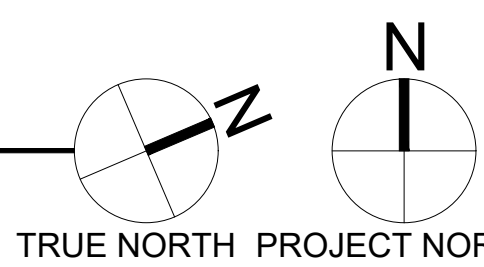
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2ND FLOOR PLAN DEMO

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN NOTES

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8. REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

DRAWING NAME:

DEMOLITION 2ND FLOOR

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

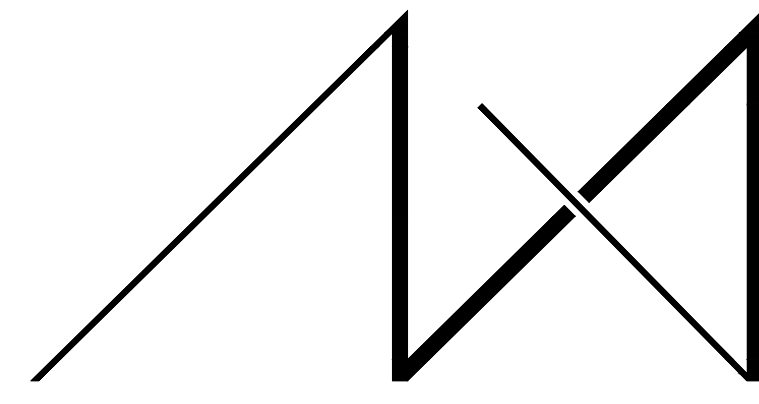
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PLOT SCALE: 1:1

D1.2

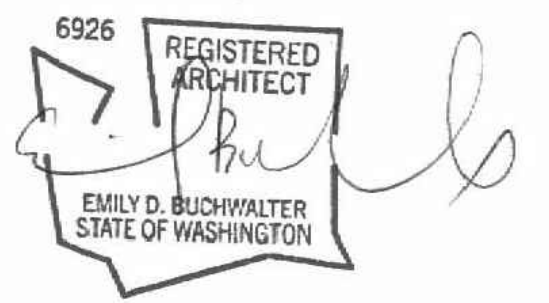


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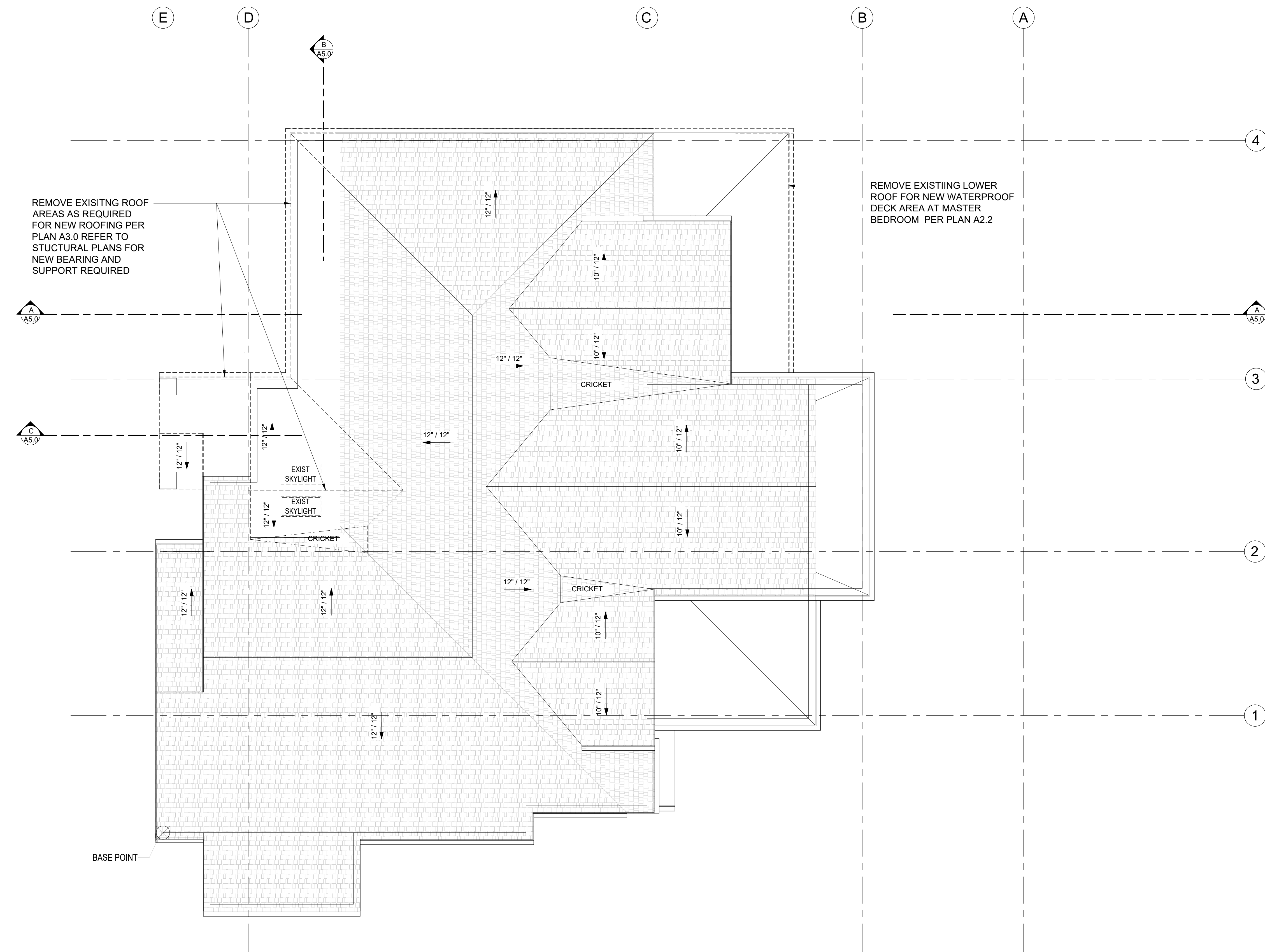
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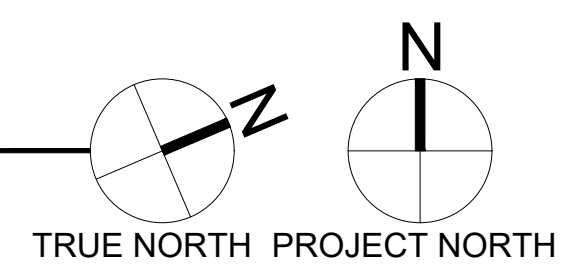
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ROOF PLAN DEMO

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN NOTES

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- 8. REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
- 9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

DRAWING NAME:

DEMOLITION ROOF

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

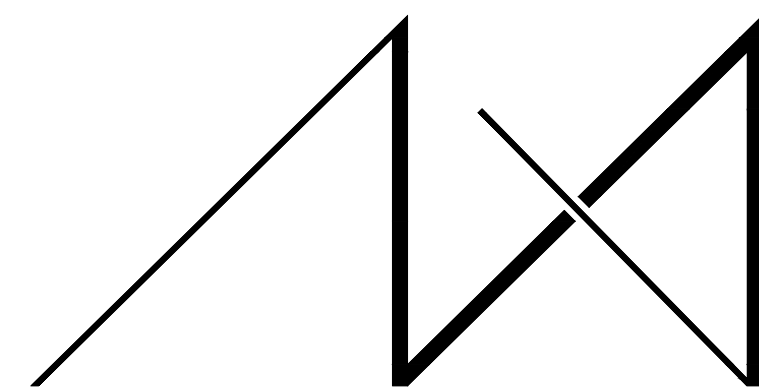
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PLOT SCALE: 1:1

D1.3



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MERCER ISLAND, WA 98040

JOB ADDRESS:

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PARCEL # 082405-9027

DRAWING NAME:

FOUNDATION PLAN

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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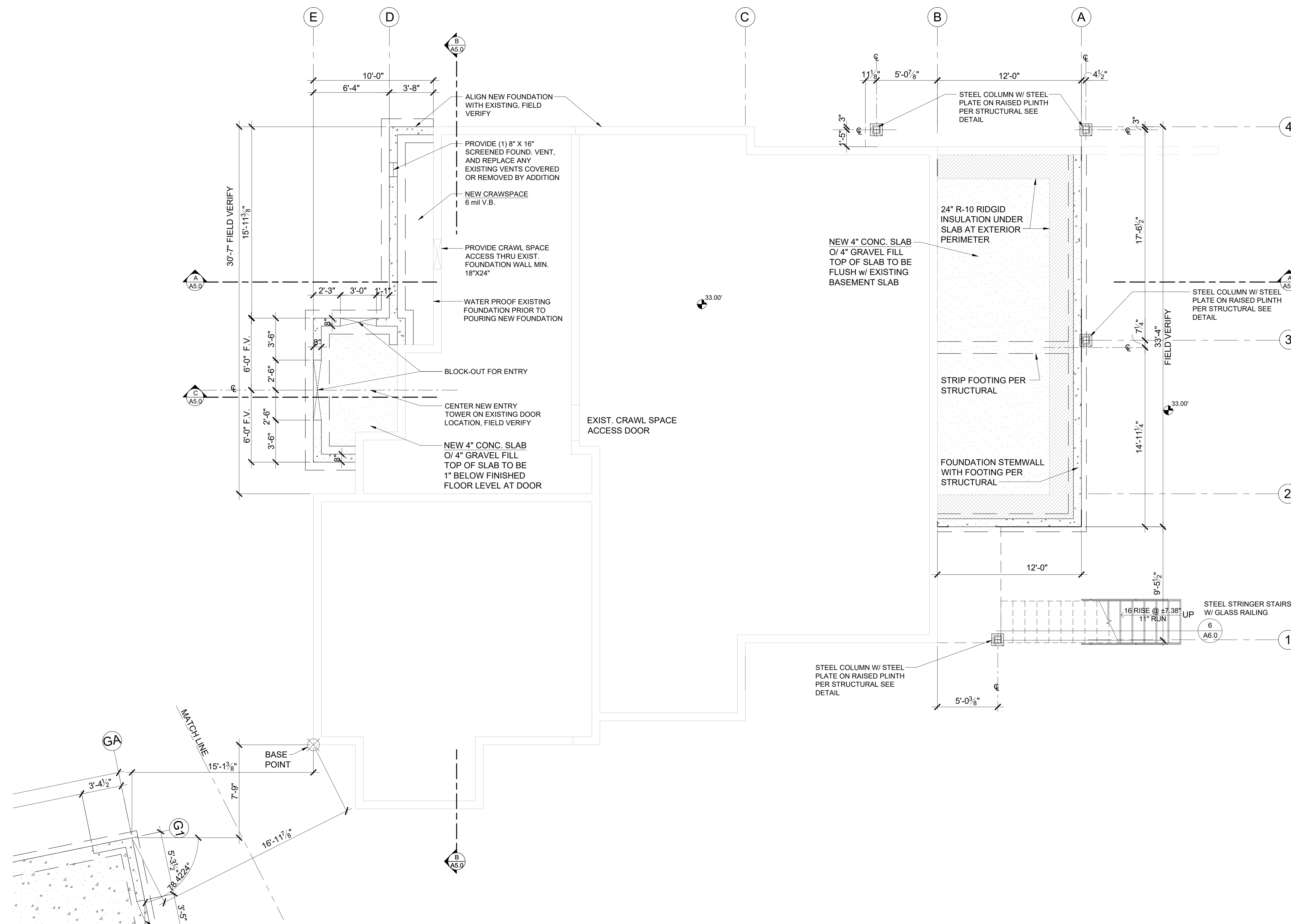
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

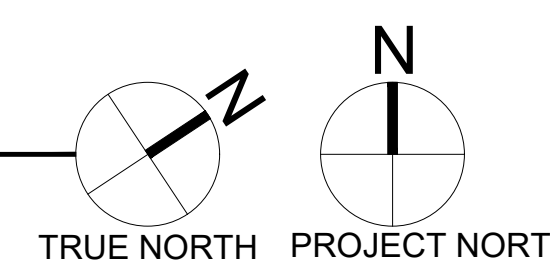
PLOT SCALE: 1:1

A1.0



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

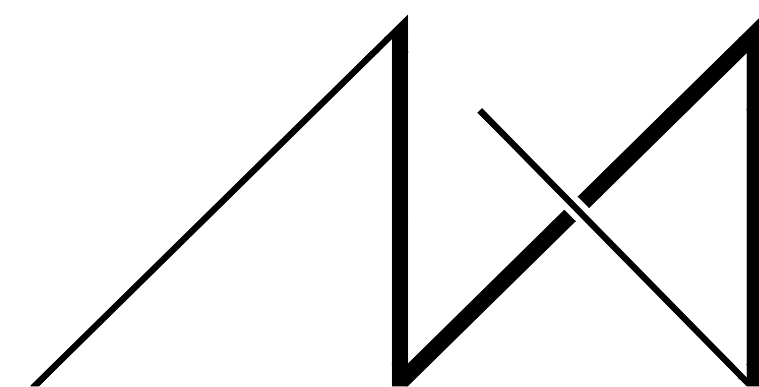


CRAWL SPACE - VENTILATION CALCULATION			
Added Crawl Space Area:	51	s.f.	
Ventilation Required:	51	s.f. x 144 s.i.1 / 1,500*	4.9 s.i. Req'd
Use:	16"x8"	Foundation Vents	
Vent Area =	98.0	s.i. - 25% reduction + 1/4" mesh	73.5 s.i.
Number of vents required:	4.9	s.i. / vent area	0.1 vents
Provide:	1.0		73.5 Provided
Total Min. Ventilation Provided =	73.5	s.i. IS GREATER THAN	4.9 s.i. Req'd

* 2015 IRC - PER R408.1 THE TOTAL AREA OF VENTILATION OPENINGS SHALL BE PERMITTED TO BE REDUCED TO 1/1,500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE

SYMBOL LEGEND

- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL W/ FOOTING
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN
- CRAWL SPACE VENT

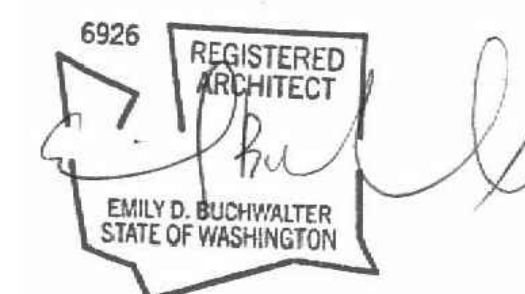


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- | | |
|----|--|
| 1. | |
| 2. | |
| 3. | |
| 4. | |
| 5. | |

PROJECT / CLIENT:

9820 SE 35TH PLACE

ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

**BASEMENT
CONSTRUCTION PLAN**

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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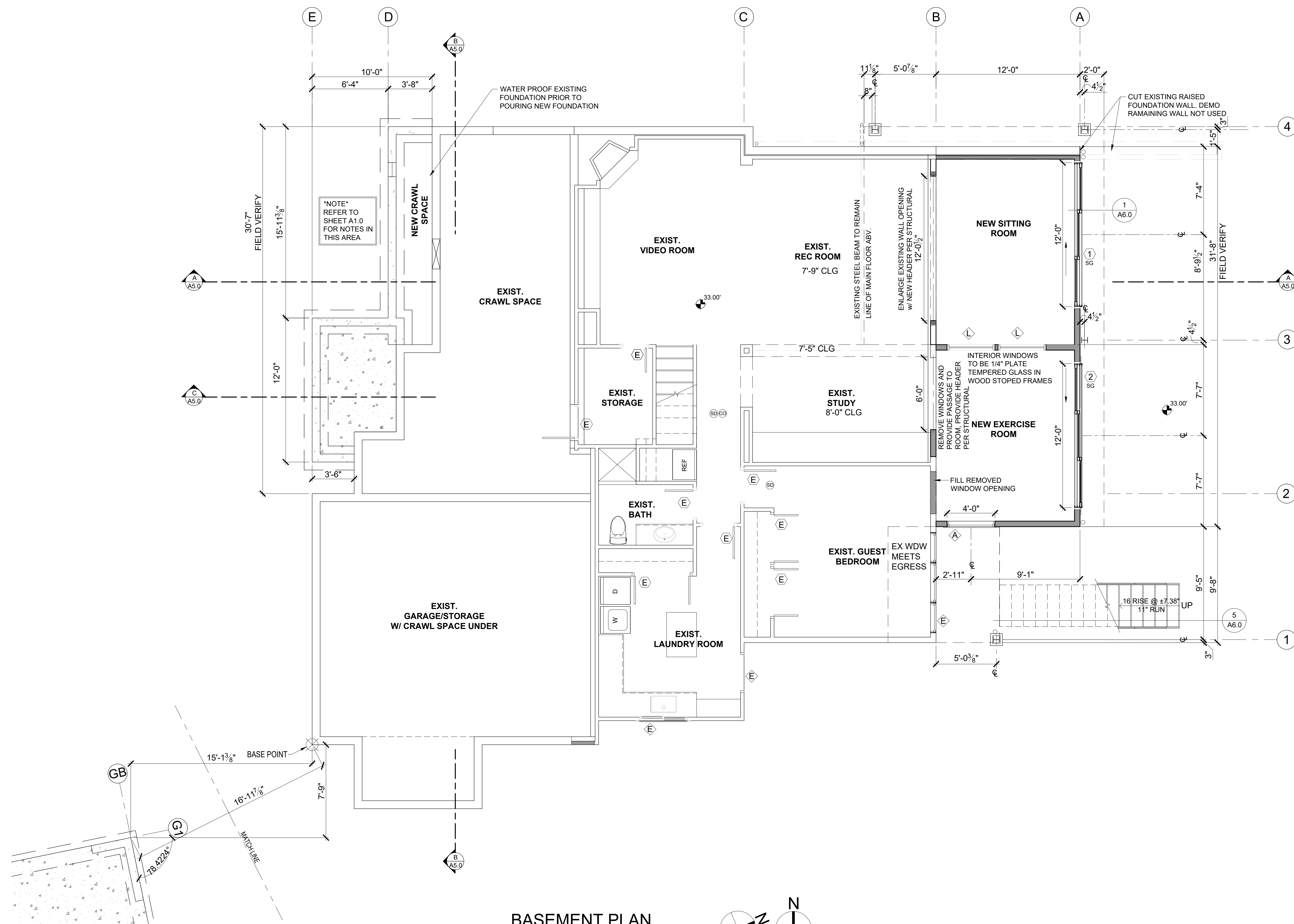
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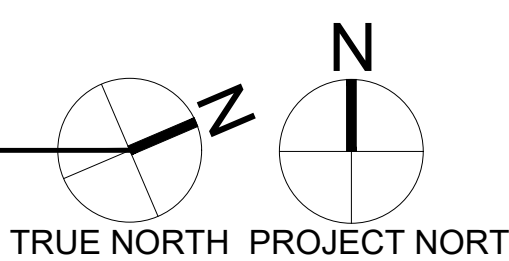
PLOT SCALE: 1:1

A2.0



BASEMENT PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4.5" U.N.O.
- SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
- INSTALL SIMPSON CONC. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTORS: VERIFY LOCATIONS OF EXISTING DETECTORS IN HOME AND UPDATE PER CODE.
 - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
 - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
 - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
- SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
- ALL EXPOSED STEEL, METAL FLASHING AND COPING TO BE POWDER COATED, COLOR TO BE DETERMINED.

SYMBOL LEGEND

- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- DOORS
- WINDOWS
- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL w/ FOOTING
- NEW 2X WALLS
- EXISTING 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

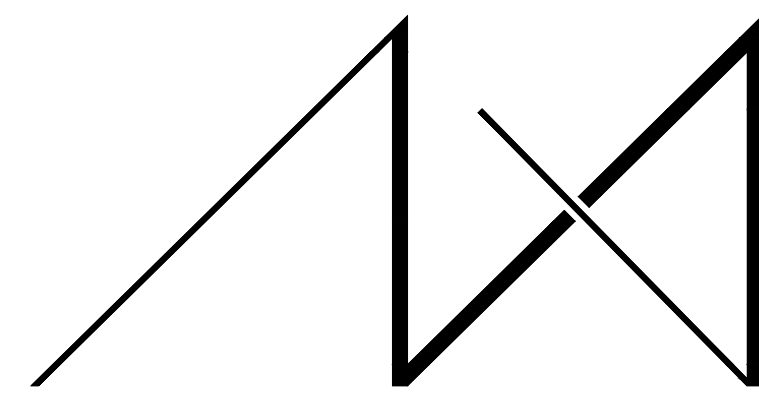
HOUSE VENTILATION

2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6

SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS
	Bath & Powder	Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)
	Kitchen	Min. 100 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.3) (Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4.
	Laundry Room	Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-6 BEDROOMS 3001+ 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT

DRYER VENT PER (TABLE M1507.4.5.1) VENTED TO OUTSIDE
*ALL FANS TO VENT TO OUTSIDE
*PER M1507.3.4 WHERE WHOLE HOUSE VENTILATION USING EXHAUST FANS ARE PROVIDED, OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR IS REQUIRED BY TABLE M1507.3.3(1) - PROVIDE 72 SQUARE INCHES OF NET FREE OPENING AREA PER HABITABLE ROOM.

NOTE:
ALL SHOWERHEAD AND KITCHEN SINK FAUCETS SHALL BE RATED @ 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED @ 1.0 GPM OR LESS.
CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.
LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.



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2. SUB1-PLANS
3. UPDATED COMMENT PER 06-03-2021
4. SUB2-PLANS
5.

PROJECT / CLIENT:

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

**1ST FLOOR
CONSTRUCTION PLAN**

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

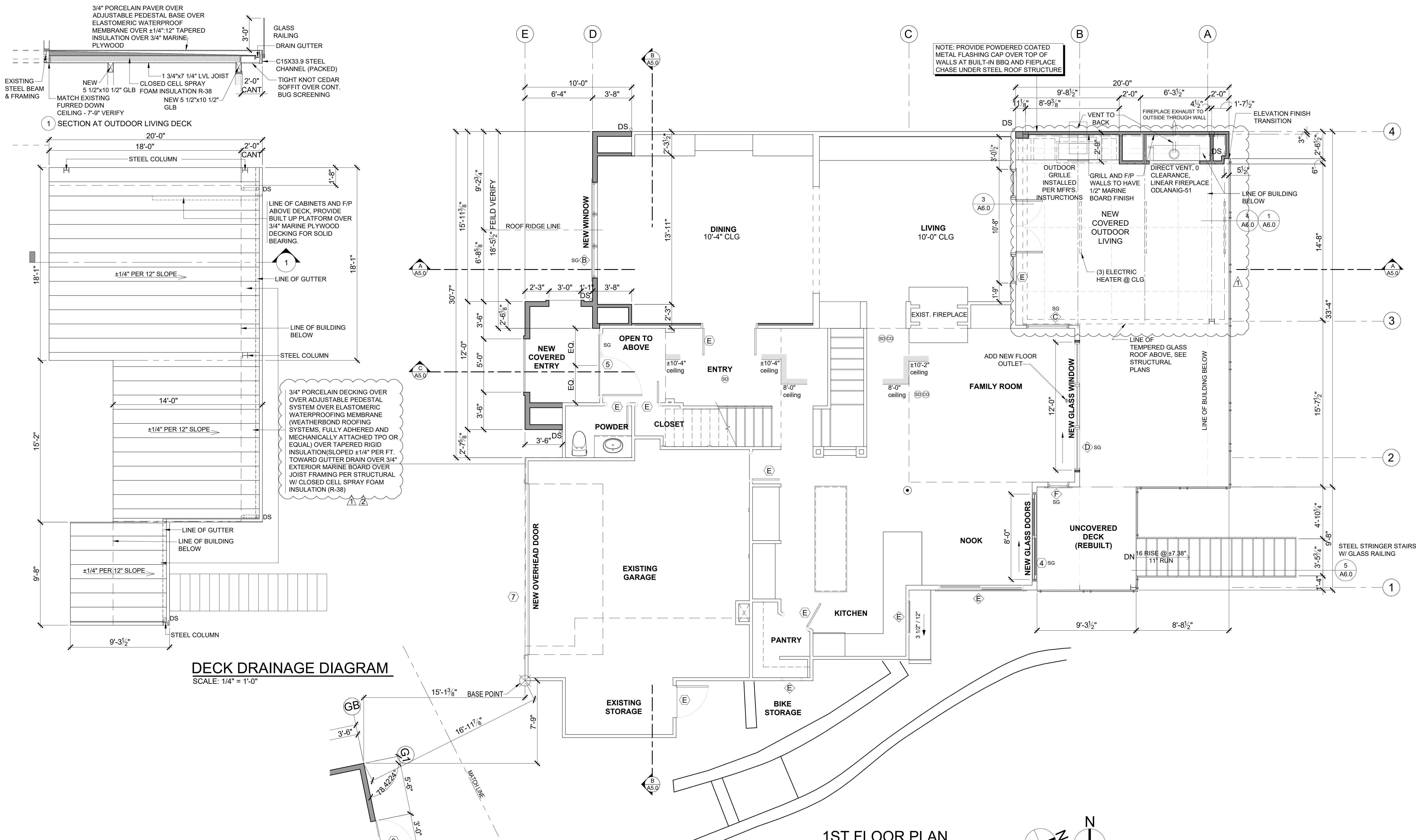
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PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A2.1



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- 1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- 2. ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
- 3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
- 4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- 5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- 6. DOOR JAMB 4.5" U.N.O.
- 7. SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- 8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- 9. EXTERIOR WALLS TO BE 2x8 STUDS @ 16" O.C. U.N.O.
- 10. INSTALL SIMPSON CONC. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
- 11. SMOKE & CARBON MONOXIDE DETECTORS: VERIFY LOCATIONS OF EXISTING DETECTORS IN HOME AND UPDATE PER CODE.
 - * SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP
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 - * SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- 12. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- 13. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
- 14. ALL EXPOSED STEEL, METAL FLASHING AND COPING TO BE POWDER COATED. COLOR TO BE DETERMINED.
- 15. AT COVERED DECK STEEL POSTS INSTALL WATERPROOF FLUID MEMBRANE UP TO UNDERSIDE OF PAVER SURFACE.
- 16. APPLY WATERPROOF FLUID MEMBRANE UP SIDES OF EXISTING STRUCTURE AND FLASH.
- 17. APPLY WATERPROOF FLUID MEMBRANE AT BUILT-IN CABINETS AND FIREPLACE WALL AND FLASH.

SYMBOL LEGEND

- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- 9 DOORS
- C WINDOWS
- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL w/ FOOTING
- NEW 2X WALLS
- EXISTING 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

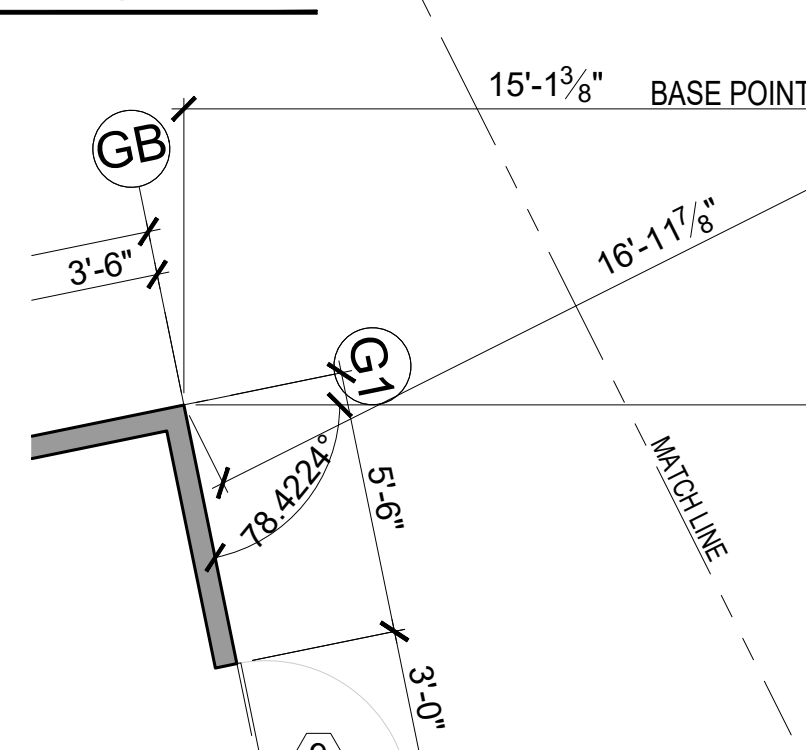
HOUSE VENTILATION

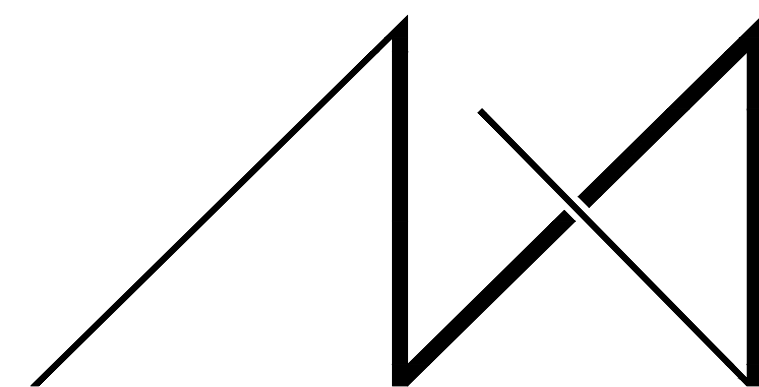
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CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.
LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.

DECK DRAINAGE DIAGRAM
SCALE: 1/4" = 1'-0"



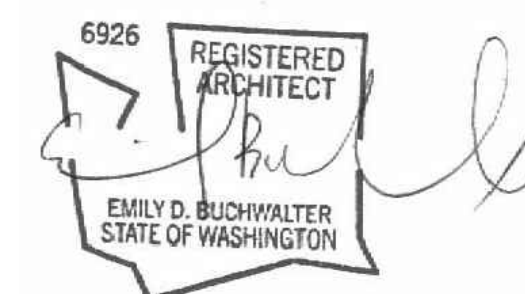


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- 1. PER COMMENT 01-2005-081- 04-01-2021
- 2. SUB1-PLANS
- 3.
- 4.
- 5.

PROJECT / CLIENT:

9820 SE 35TH PLACE

ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

**2ND FLOOR
CONSTRUCTION PLAN**

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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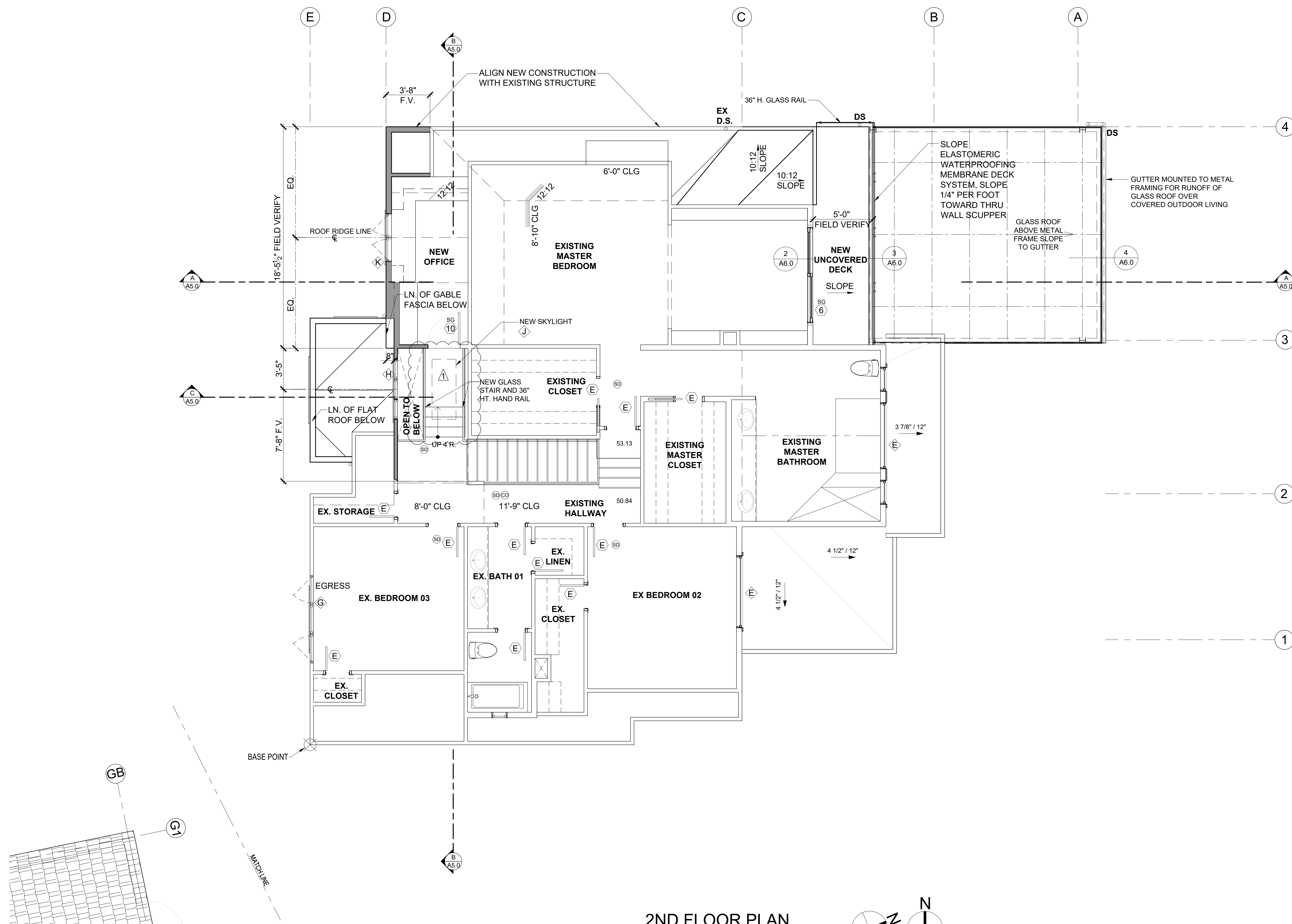
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PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

A2.2



2ND FLOOR PLAN

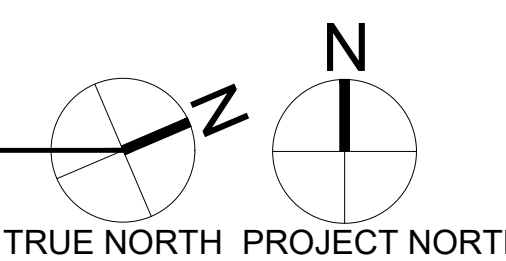
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

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2. ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
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6. DOOR JAMB 4 5/8" U.N.O.
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SYMBOL LEGEND

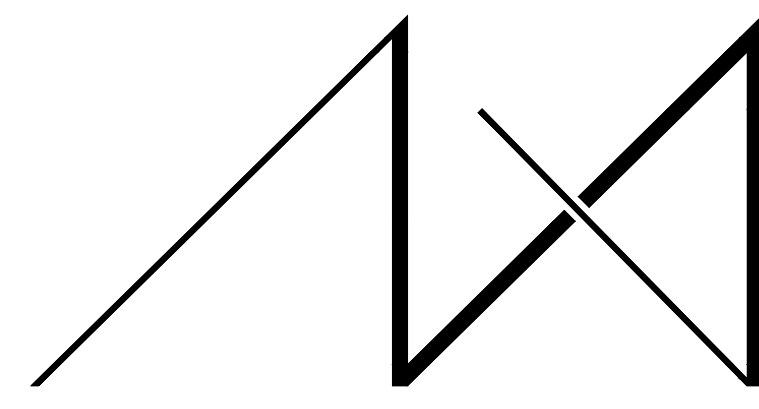
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- D DOORS
- C WINDOWS
- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL W/ FOOTING
- NEW 2X WALLS
- EXISTING 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN



HOUSE VENTILATION

2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6	
SYMBOL LOCATION MINIMUM FAN REQUIREMENTS	
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C Laundry Room	Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-5 BEDROOMS 3001< 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT
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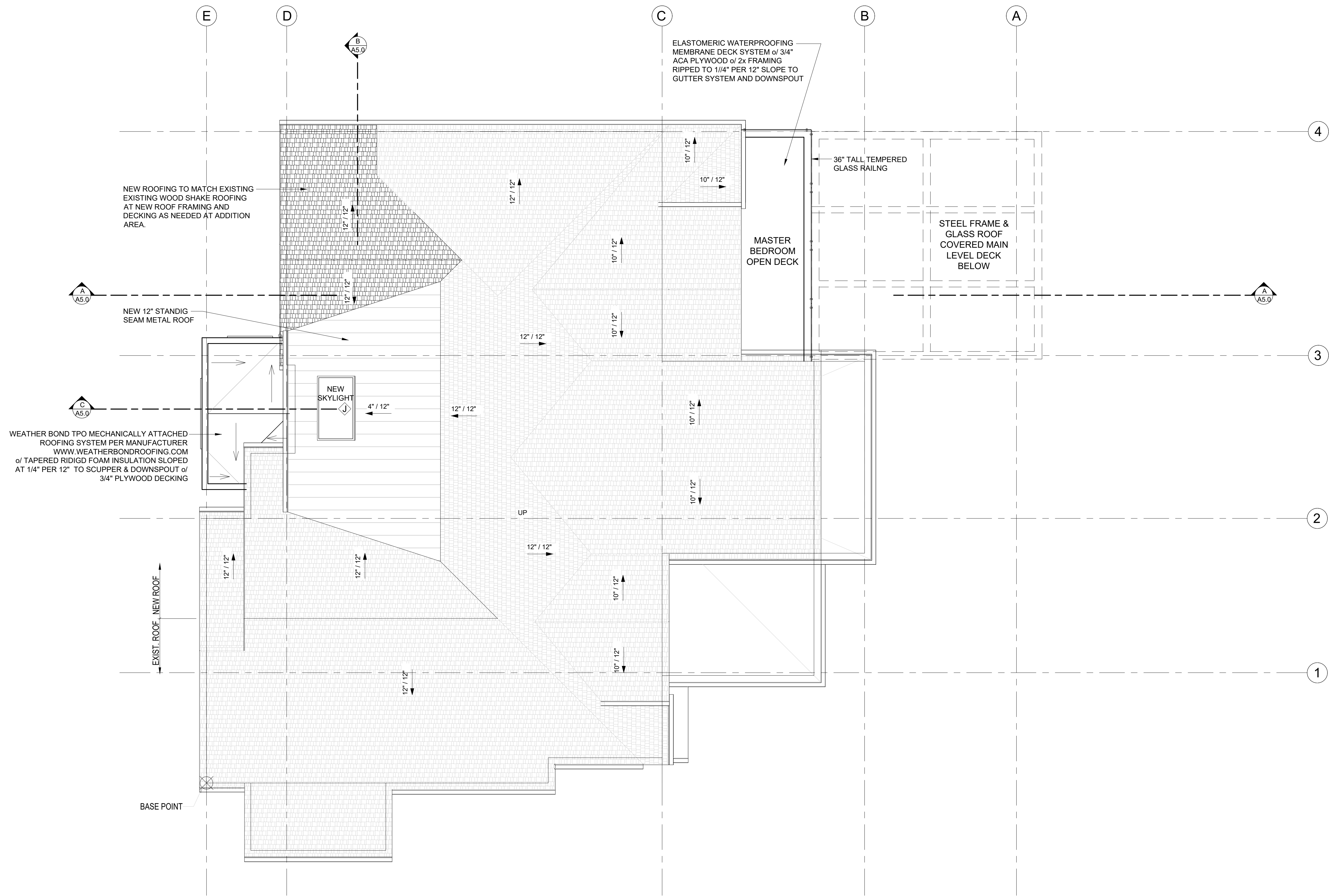
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PROJECT / CLIENT:

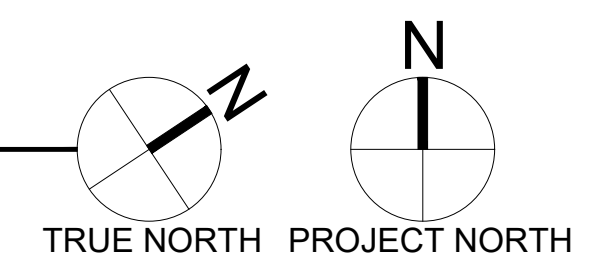
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JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027



ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF - VENTILATION CALCULATION				
Stick built Roof Construction:				
Roof Area:	356.7	s.f.		
Ventilation Required:	356.7	s.f. x 144 s.i. / 300"=	171.2	s.i. Req'd
Proposed Ventilation :				
SmartVent Shingle vent (upper or ridge)	4.5	s.i. nfa / l.f.=	4.5	s.i. / l.f.
Provide :	20.0	l.f. Upper Ventilation =	90.0	s.i.
SmartVent Shingle vent (lower roof edge)	4.5	s.i. nfa / l.f. =	4.5	s.i.
Provide:	20.0	l.f. Eave Edge Ventilation =	90.0	s.i.
Total Ventilation Provided	180.0	s.i. IS GREATER THAN	171.2	s.i. Req'd

DRAWING NAME:

ROOF PLAN

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

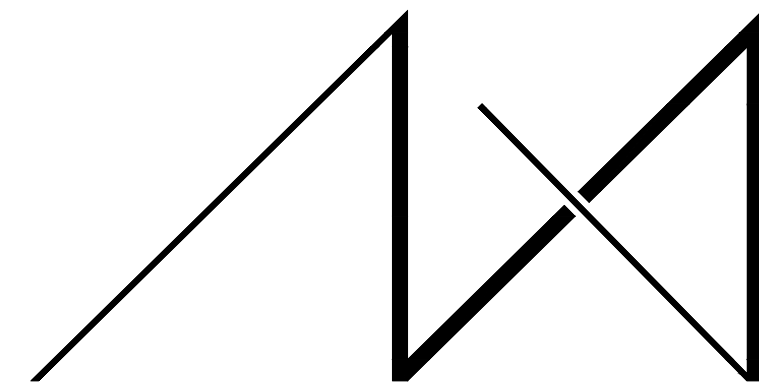
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PLOT SCALE: 1:1

A3.0



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DRAWING NAME:

ELEVATIONS

Drawn By: JMG, RB

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Owner Approval:

PHASE:

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A4.0

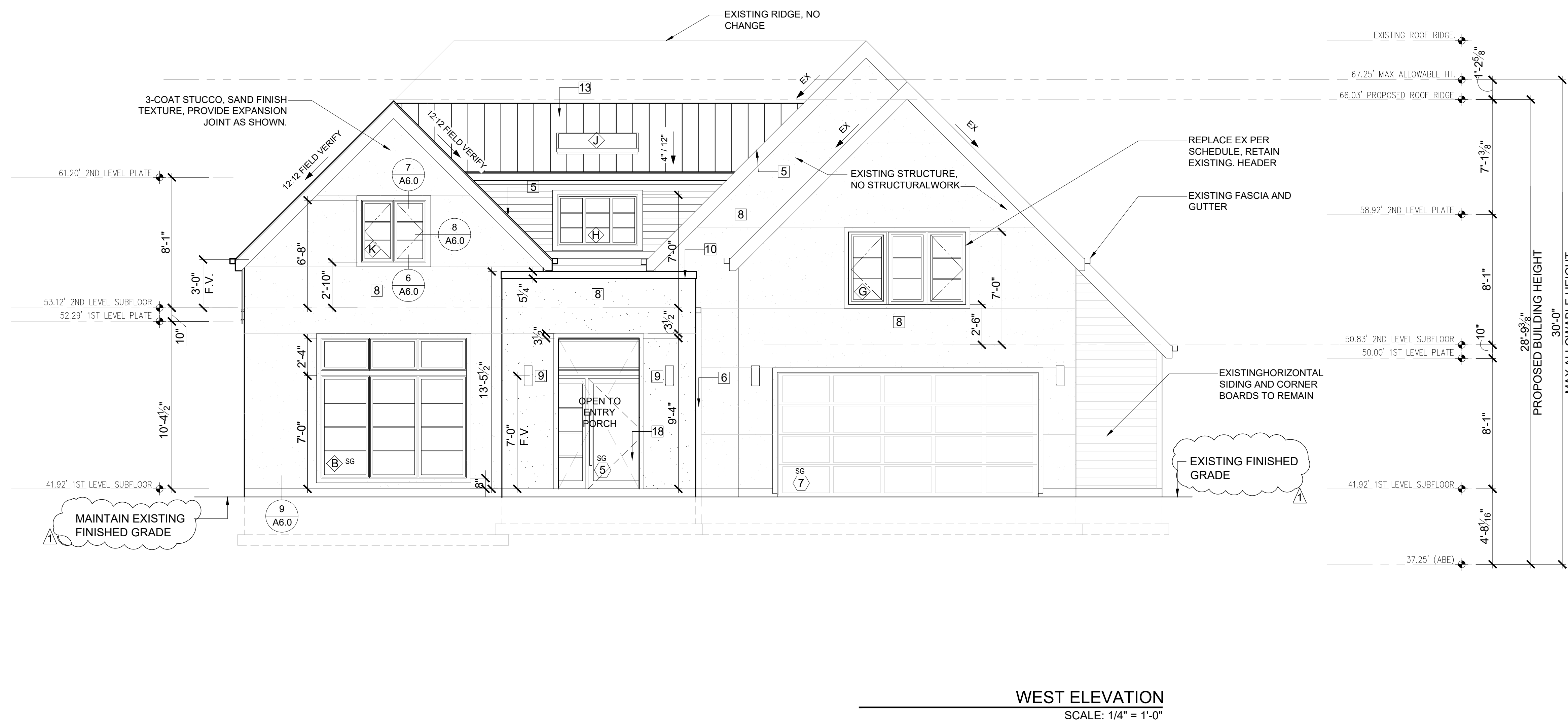
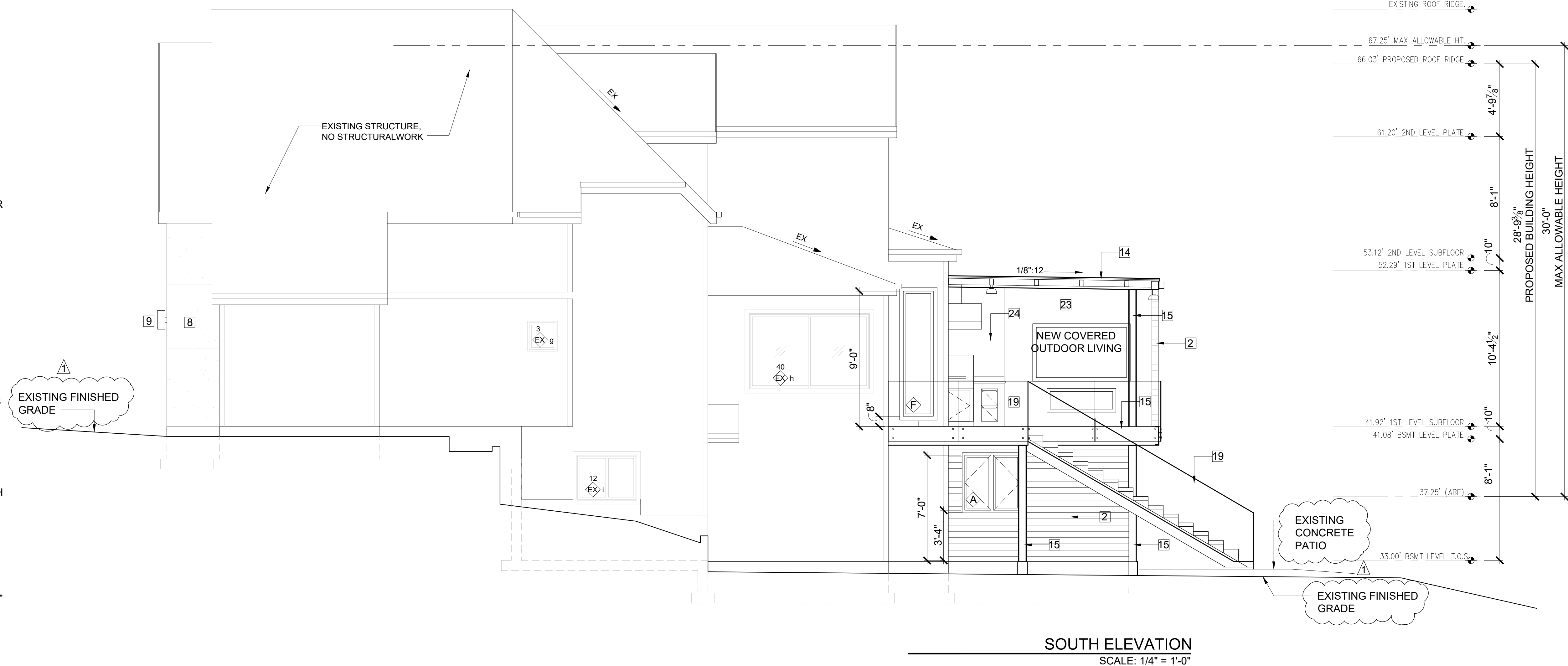
ELEVATIONS NOTES & KEY NOTES:

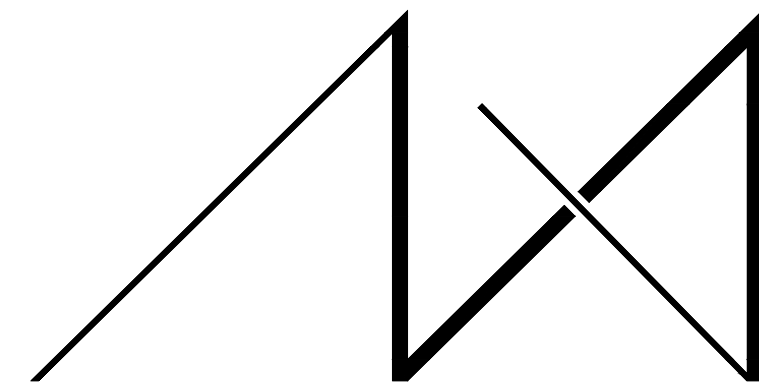
- VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- MATCH EXISTING CEDAR SIDING PROFILE AND EXPOSURE, PAINT TO MATCH. INTERWEAVE NEW CEDAR SIDING TO OLD AND EXTEND VAPOR BARRIER MINIMUM OF 6 INCHES. TRANSITIONS TO BE SEAMLESS.
- CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. ROOF DRAINS AND SCUPPERS SHALL BE INSTALLED PER IRC SECTION R903.4. PROVIDE EMERGENCY OVERFLOW PER IRC SECTION 1503.4.1. TYPICAL SEE ROOF PLAN SHEET A3.0. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
- SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2; SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
- LIGHTING AT EXTERIOR DOORS, TYP.
- POWDER COATED COPING
- TPO ROOFING: MECHANICALLY ATTACHED ROOFING SYSTEM, LIGHT GREY, SCRIM-REINFORCED THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE. PERIMETER SHEETS ARE INSTALLED ALONG THE BUILDING EDGES AND FIELD MEMBRANE SHEETS ARE MECHANICALLY ATTACHED TO THE ROOF DECK WITH THE APPROPRIATE FASTENERS AND FASTENING PLATES. ADJOINING SHEETS OF MEMBRANE ARE OVERLAPPED AND JOINED TOGETHER WITH A MINIMUM 1-1/2" WIDE HOT AIR WELD. INSTALL PER MANUFACTURER.
- MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
- 12" STANDING SEAM METAL ROOFING, INSTALL PER INDUSTRY STANDARDS. COLOR FINISH TO BE SELECTED BY OWNER.
- POWDER COATED STEEL FRAME FOR INSTALLATION OF TEMPERED LAMINATED GLASS ROOF CANOPY, INSTALL BY ROOF CANOPY MANUFACTURER.
- POWDER COATED STEEL COLUMN OR C-CHANNEL PER STRUCTURAL.
- FIRE PLACE VENT
- HOOD VENT OVER BARBEQUE.
- FRONT ENTRY DOOR: FRONT ENTRY DOOR SHALL BE ALUMINUM, MINIMUM 1-3/4" THICK, 42" WIDE SINGLE SOLID DOOR WITH ONE SIDELIGHT AND TRANSOM WINDOW ABOVE. DOUBLE-GLAZED SAFETY GLASS, WITH LOW-E. PROVIDE ANODIZED METAL THRESHOLD, CYLINDER ENTRY LOCK ACCESS AND DEADBOLT DRILLING. U-VALUE OF DOORS TO BE 0.30 (2015 WSEC) OR BETTER. PROVIDE EUTHERM ALUMINUM DOOR OR EQUAL AS APPROVED BY ARCHITECT.
- GLASS RAILING HANDRAIL: SIDE MOUNTED FRAMELESS GLASS RAIL SYSTEM WITH NON-GLARE TEMPERED GLASS PANELS.
- WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.
- PORCELAIN PAVERS DECK SYSTEM INSTALL PER POCELANOSA MANUFACTURER INSTRUCTIONS.
- WOOD DECKING OVER RIPPED CEDAR DECK JOIST OVER 3/4" MARINE BOARD WATER MEMBRANE ROOFING PER IRC. R905.13 AND CLOSED CELL SPAY FOAM R-38.
- STONE TILE VENEER.
- BLACKEN STAINLESS STEEL
- A STEEL, METAL FLASHING AND COPING TO BE POWDER COATED.

NOTE:
REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRE GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

PER IRC - 301.5 CONCENTRATED LOAD. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.

R312.2.1 - WINDOW SILLS. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 7" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTION OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.





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9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

ELEVATIONS

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

A4.1

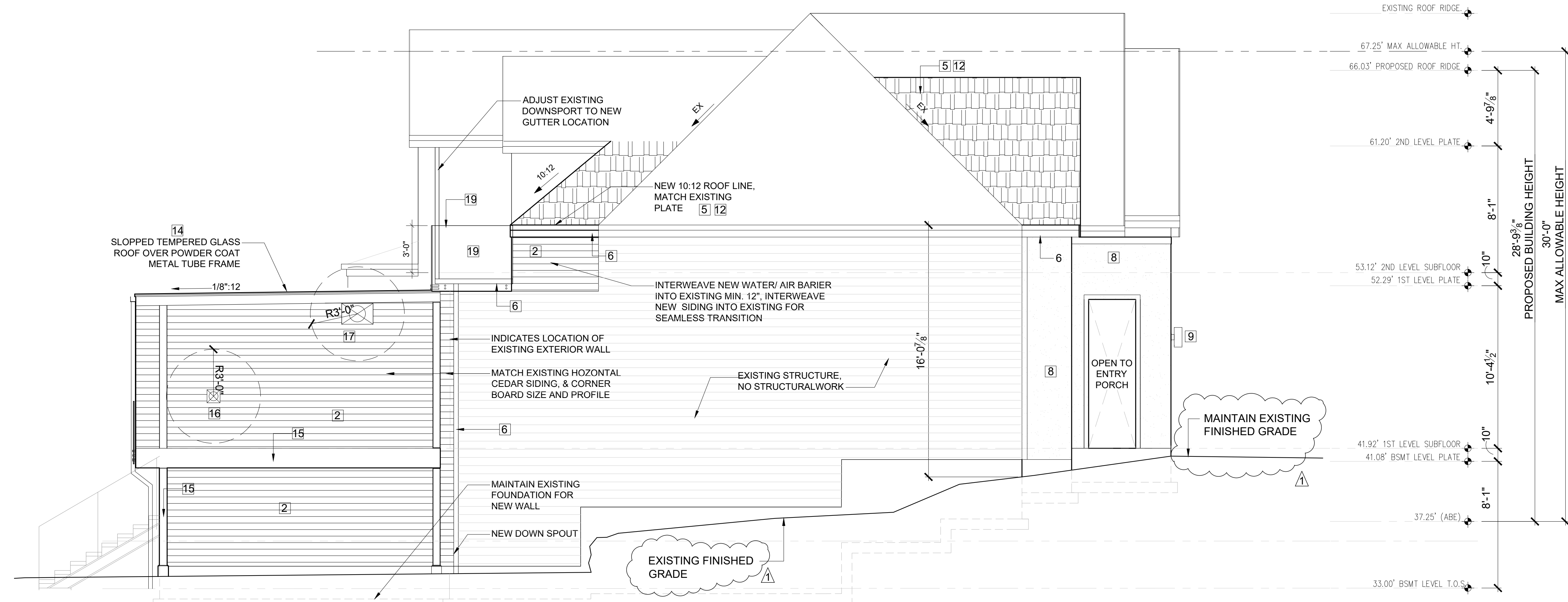
ELEVATIONS NOTES & KEY NOTES:

1. VERIFY SHEAR WALL NAILING & HOLDOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
2. MATCH EXISTING CEDAR SIDING PROFILE AND EXPOSURE, PAINT TO MATCH. INTERWEAVE NEW CEDAR SIDING TO OLD AND EXTEND VAPOR BARRIER MINIMUM OF 6 INCHES. TRANSITIONS TO BE SEAMLESS.
3. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
4. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
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9. LIGHTING AT EXTERIOR DOORS, TYP.
10. POWDER COATED COPING
11. TPO ROOFING: MECHANICALLY ATTACHED ROOFING SYSTEM, LIGHT GRAY, SCRIM-REINFORCED THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE. PERIMETER SHEETS ARE INSTALLED ALONG THE BUILDING EDGES AND FIELD MEMBRANE SHEETS ARE MECHANICALLY ATTACHED TO THE ROOF DECK WITH THE APPROPRIATE FASTENERS AND FASTENING PLATES. ADJOINING SHEETS OF MEMBRANE ARE OVERLAPPED AND JOINED TOGETHER WITH A MINIMUM 1-1/2" WIDE HOT AIR WELD. INSTALL PER MANUFACTURER.
12. MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
13. 12" STANDING SEAM METAL ROOFING, INSTALL PER INDUSTRY STANDARDS. COLOR FINISH TO BE SELECTED BY OWNER.
14. POWDER COATED STEEL FRAME FOR INSTALLATION OF TEMPERED LAMINATED GLASS ROOF CANOPY, INSTALL BY ROOF CANOPY MANUFACTURER.
15. POWDER COATED STEEL COLUMN OR C-CHANNEL PER STRUCTURAL.
16. FIRE PLACE VENT
17. HOOD VENT OVER BARBEQUE.
18. FRONT ENTRY DOOR: FRONT ENTRY DOOR SHALL BE ALUMINUM, MINIMUM 1-3/4" THICK, 42" WIDE SINGLE SOLID DOOR WITH ONE SIDELIGHT AND TRANSOM WINDOW ABOVE, DOUBLE-GLAZED SAFETY GLASS, WITH LOW-E. PROVIDE ANODIZED METAL THRESHOLD, CYLINDER ENTRY LOCK ACCESS AND DEADBOLT DRILLING. U-VALUE OF DOORS TO BE 0.30 (2015 WSEC) OR BETTER. PROVIDE EUTHERM ALUMINUM DOOR OR EQUAL AS APPROVED BY ARCHITECT.
19. GLASS RAILING HANDRAIL: SIDE MOUNTED FRAMELESS GLASS RAIL SYSTEM WITH NON-GLARE TEMPERED GLASS PANELS.
20. WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.
21. PORCELAIN PAVERS DECK SYSTEM INSTALL PER PORCELANOSA MANUFACTURER INSTRUCTIONS.
22. WOOD DECKING OVER RIPPED CEDAR DECK JOIST OVER 3/4" MARINE BOARD WATER MEMBRANE ROOFING PER IRC. R905.13 AND CLOSED CELL SPAY FOAM R-38.
23. STONE TILE VENEER.
24. BLACKEN STAINLESS STEEL

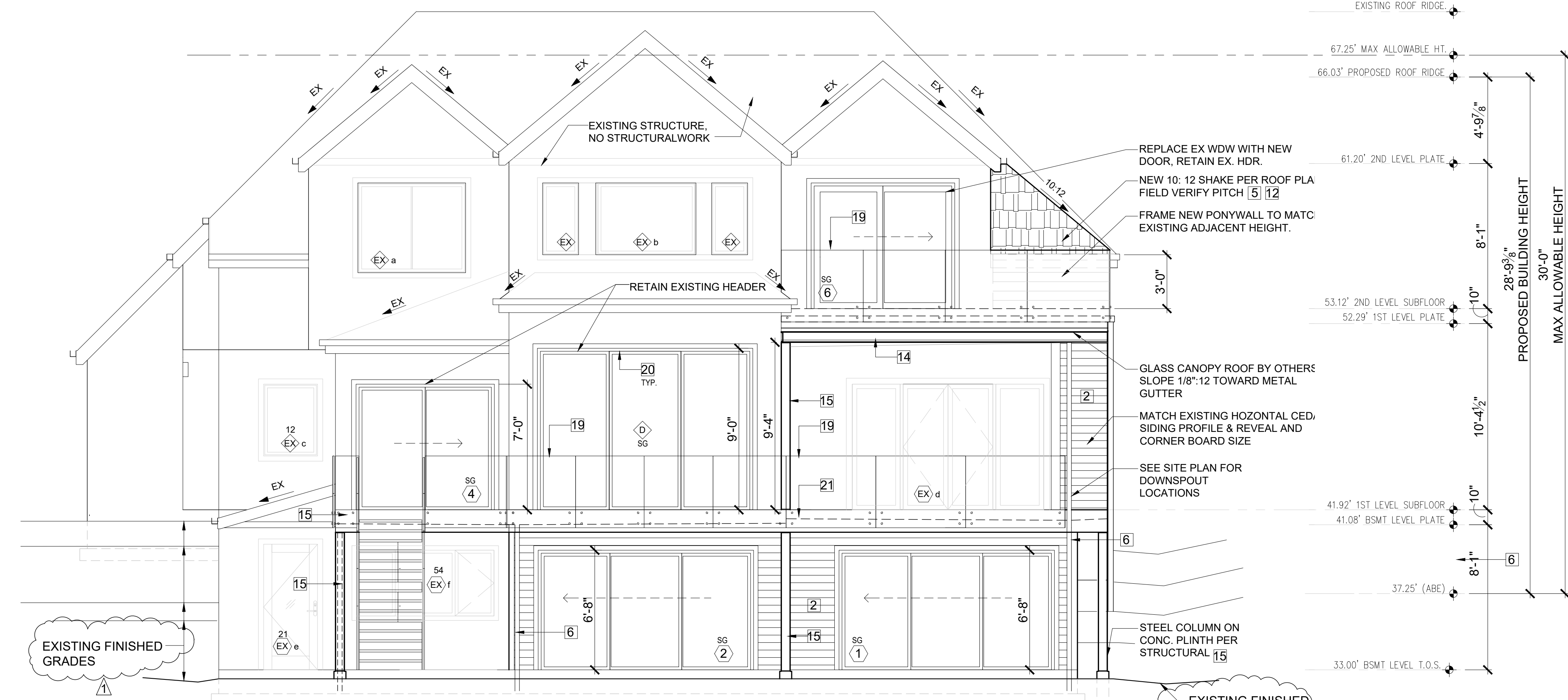
NOTE:
REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRE GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

PER IRC - 301.5 CONCENTRATED LOAD, HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.

R312.2.1 - WINDOW SILLS. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTION OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



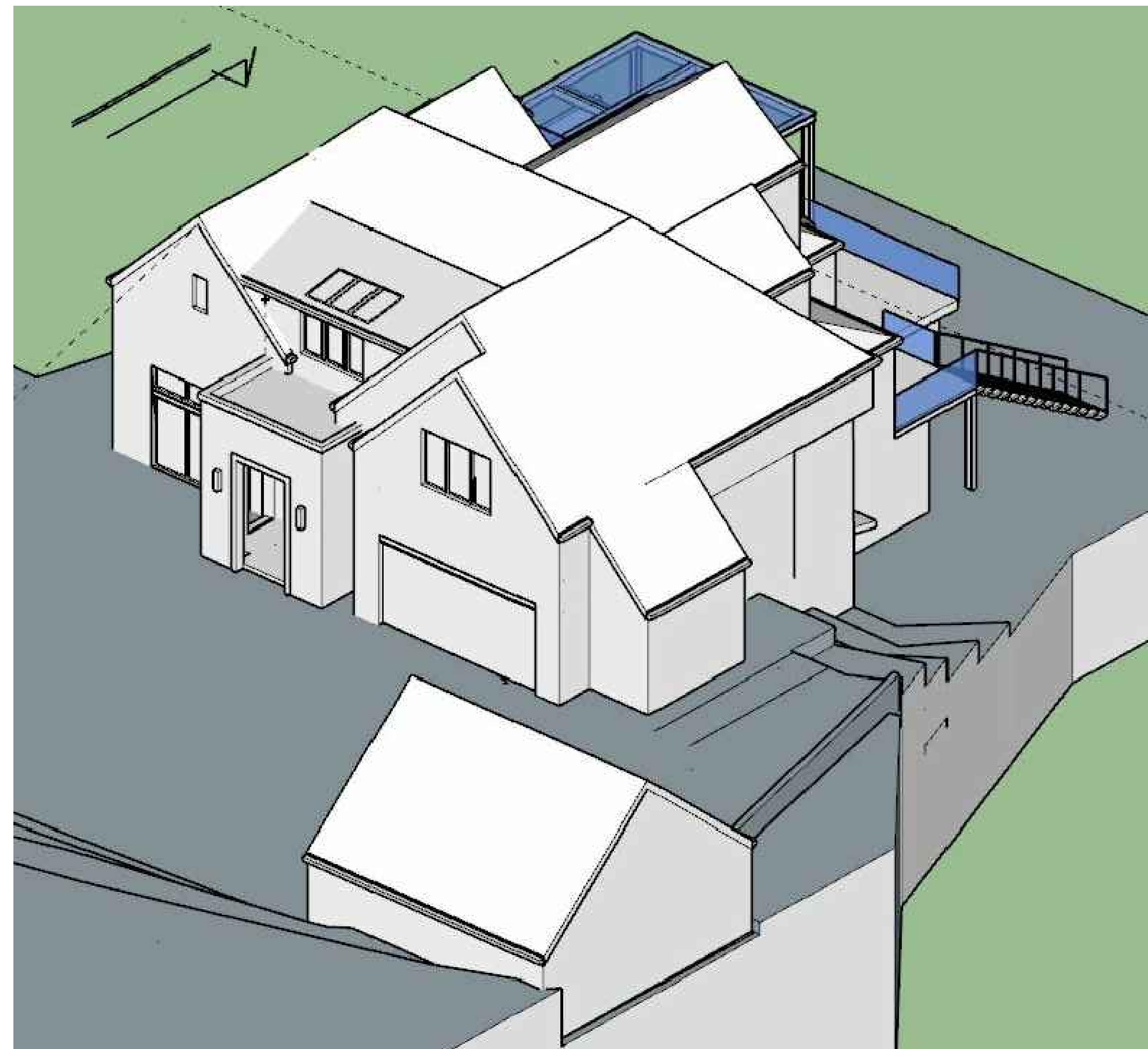
EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH - EAST VIEW
SCALE: NTS



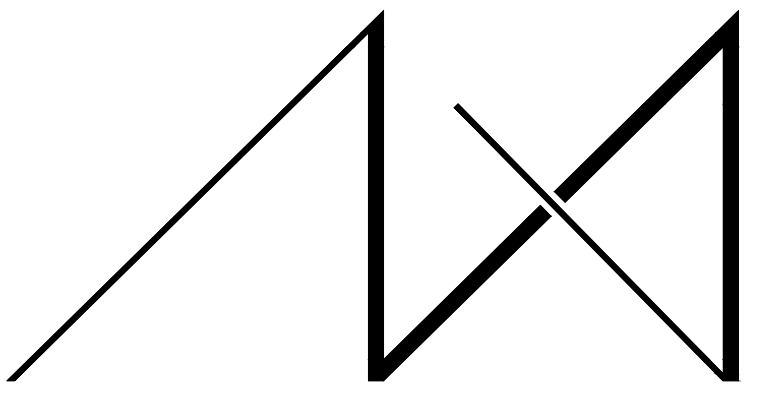
NORTH - WEST VIEW
SCALE: NTS



SOUTH - WEST VIEW
SCALE: NTS



SOUTH - EAST VIEW
SCALE: NTS



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MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME: _____

PERSPECTIVES

Drawn By: JMG, RB
Checked By: EB
Owner Approval: _____

PHASE: _____

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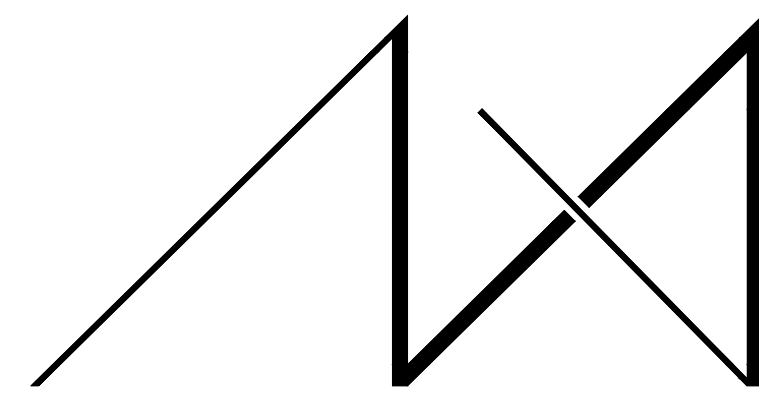
APPROVED FOR CONSTRUCTION: _____

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

A4.2



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DRAWING NAME:

SECTIONS

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

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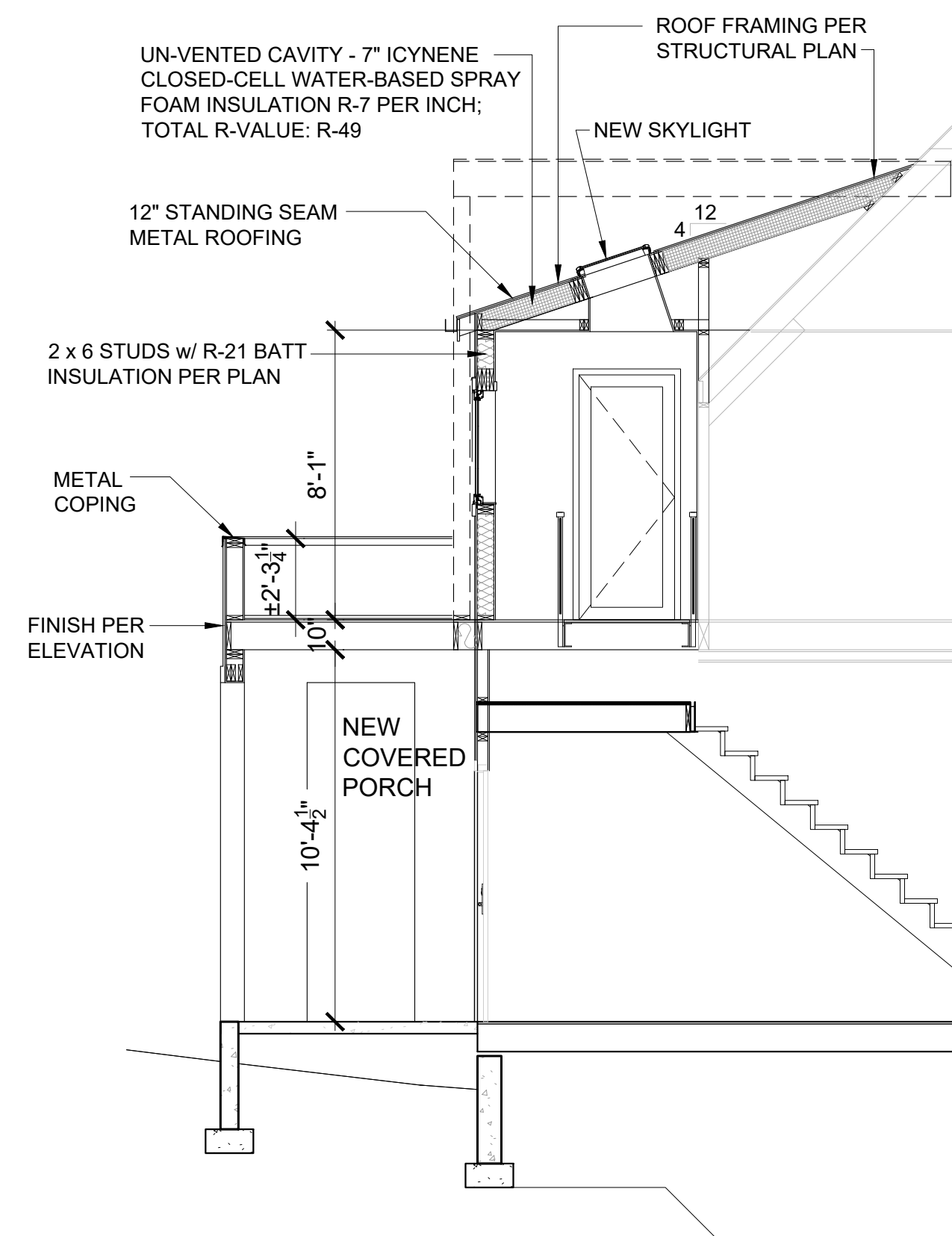
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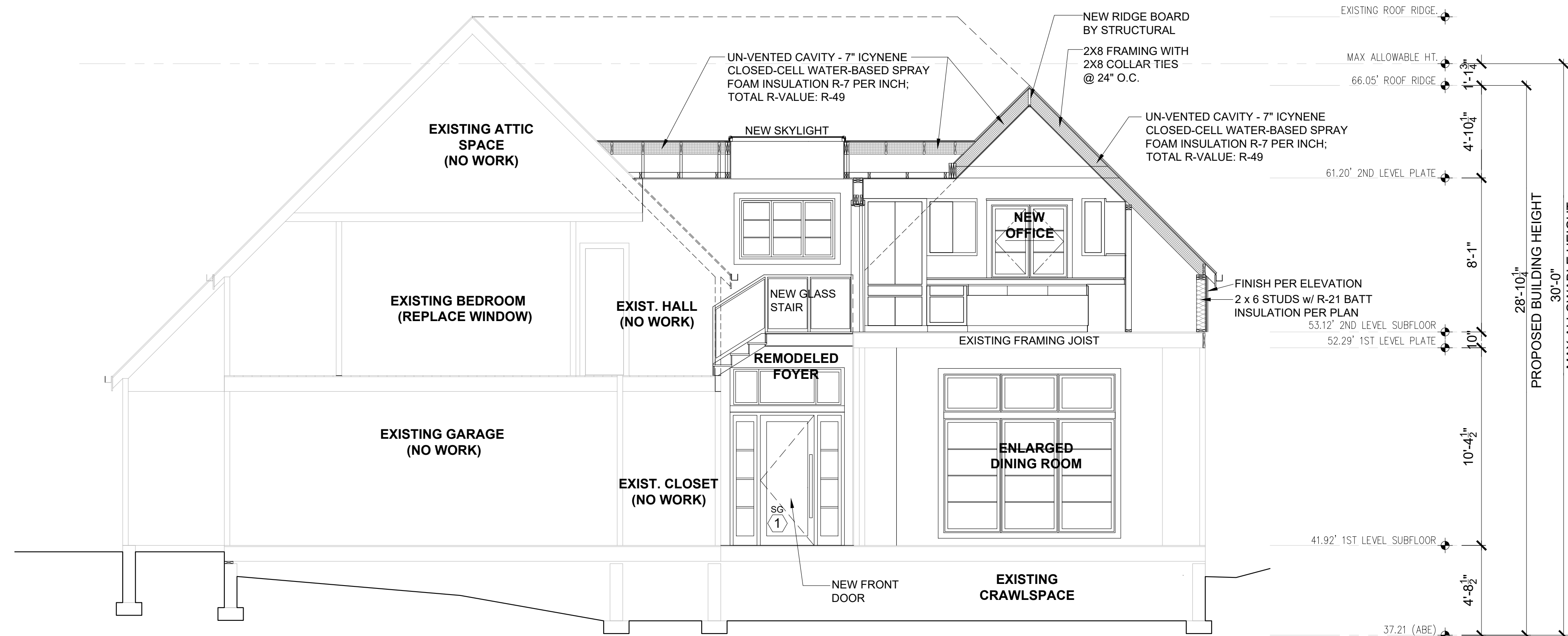
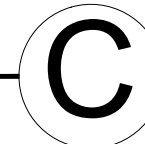
PLOT SCALE: 1:1

A5.0



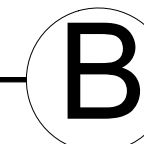
FOYER STAIR SECTION C

SCALE: 1/4" = 1'-0"

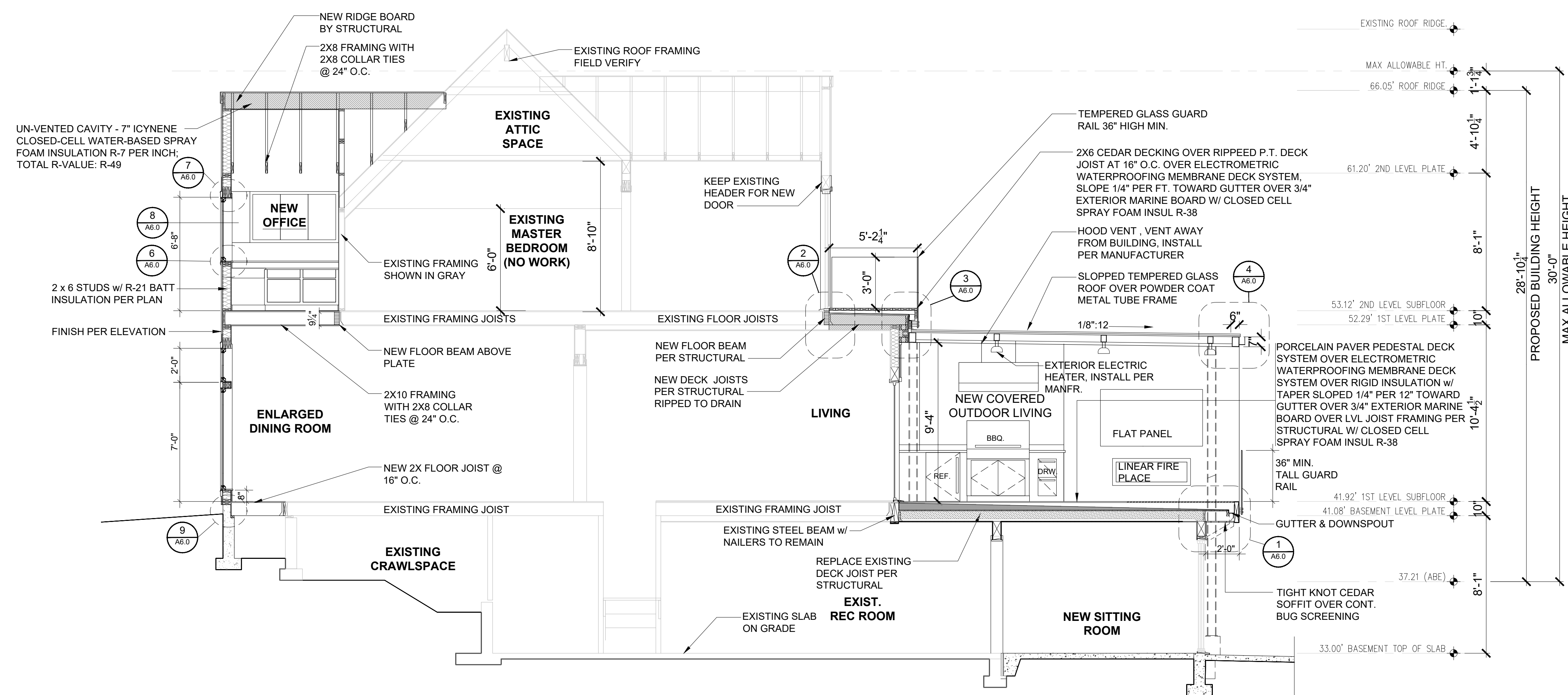


EAST-WEST SECTION BB

SCALE: 1/4" = 1'-0"

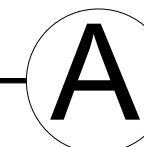


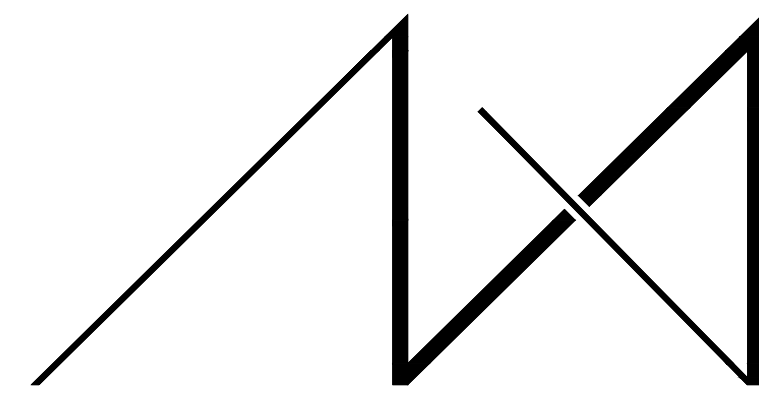
- THERMAL INSULATION:**
- Walls (below-grade, exterior): R-10 rigid insulation
 - Walls (below-grade, interior): R-21 batt or rigid insulation
 - Walls (above-grade): R-21 batt or rigid insulation
 - Headers: R-10 rigid insulation
 - Ceilings (advanced framing): R-38 batt
 - Ceilings (standard framing): R-49 batt
 - Ceilings (vaulted): Icynene with min R-49
 - Floors: R-30 batt or rigid insulation
 - Slab: R-10 water-resistant rigid insulation
 - Solid doors: U-value of .20 or better
 - Windows & doors with glazing: U-value of .30 or better
 - Skylights: U-value of .50 or better



NORTH-SOUTH SECTION AA

SCALE: 1/4" = 1'-0"



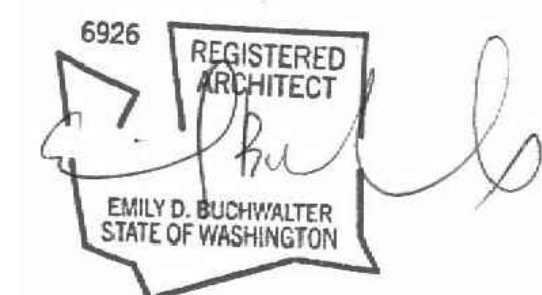


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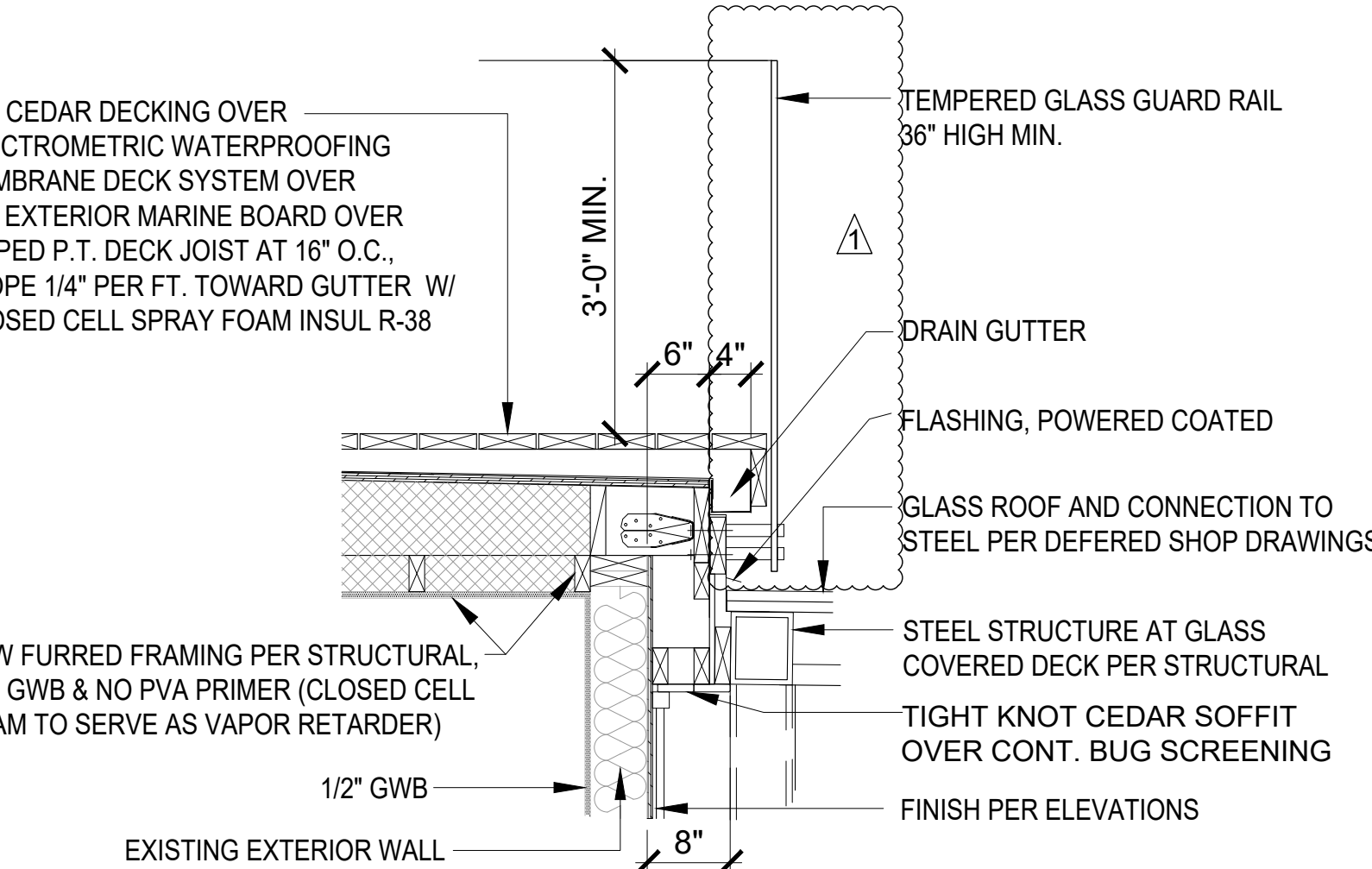
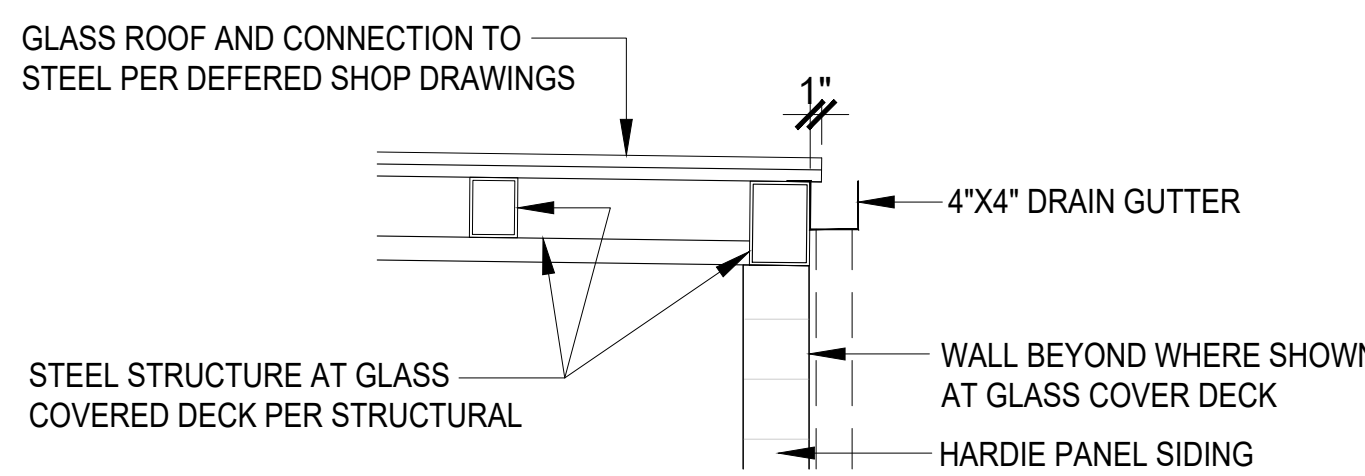
PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A6.0

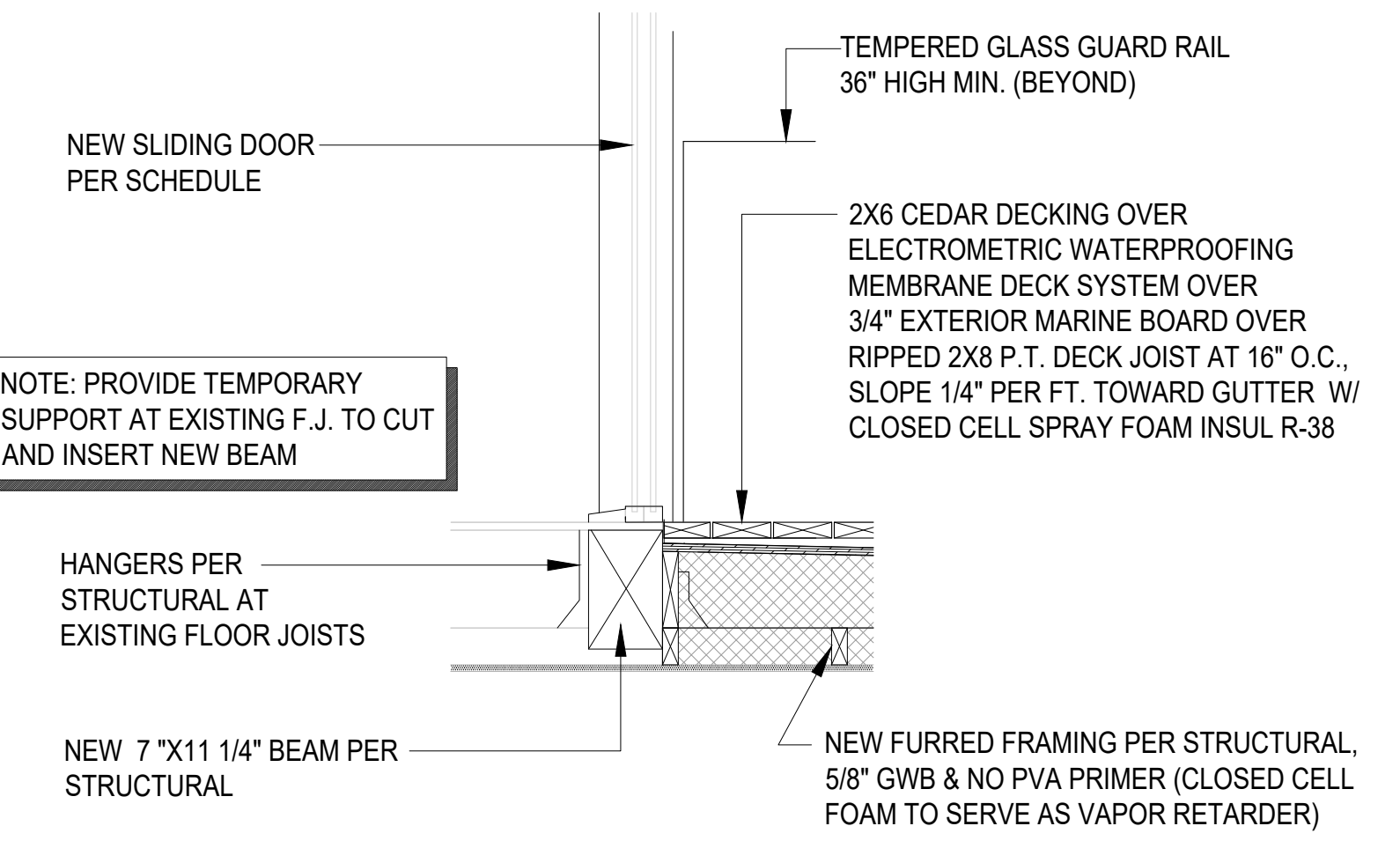
4 GLASS COVERED DECK STRUCTURE DETAIL

SCALE: 3/4" = 1'-0"



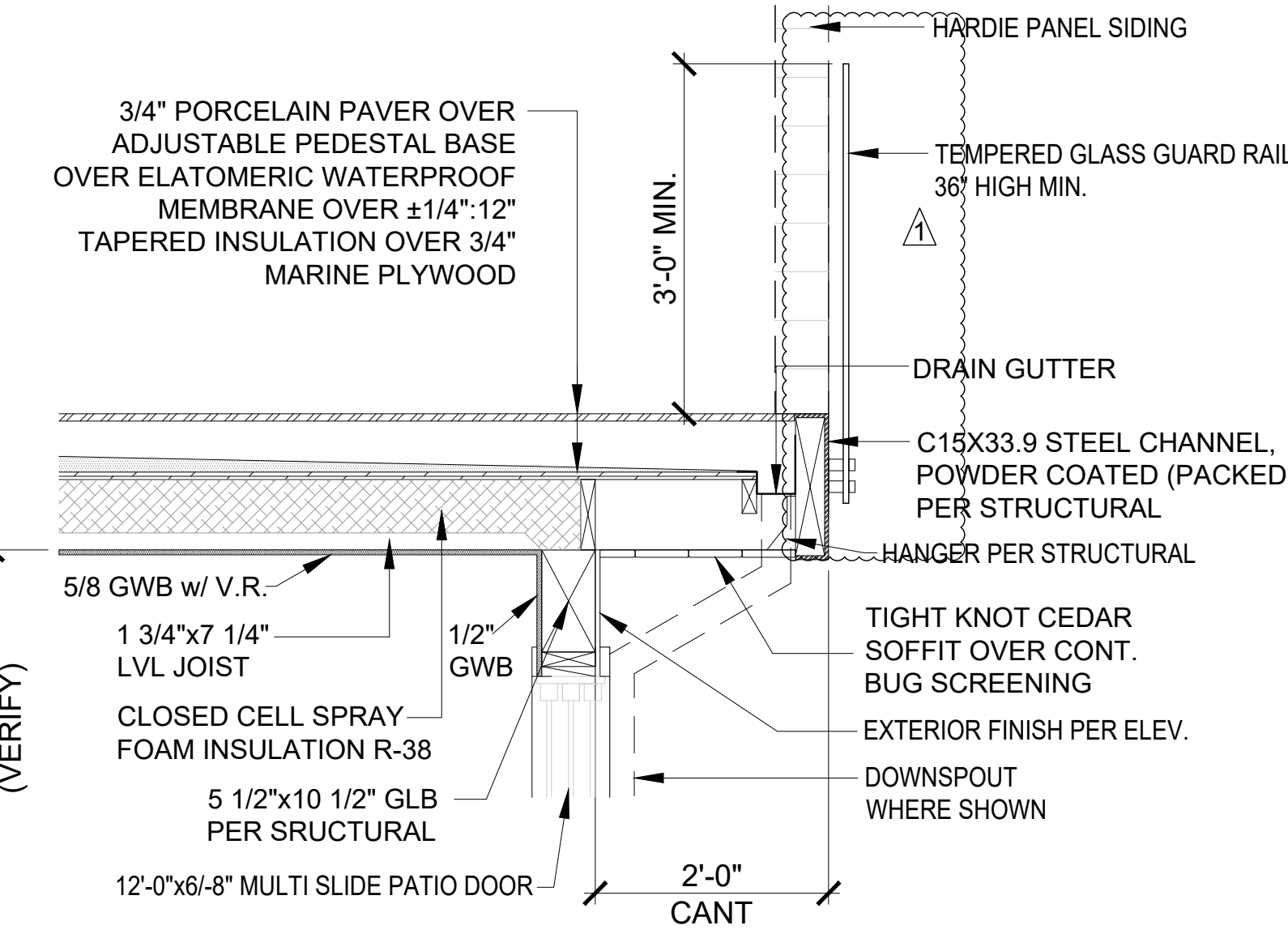
3 MASTER BEDROOM DECK / GLASS COVERED DECK

SCALE: 3/4" = 1'-0"



2 MASTER BEDROOM WALK OUT DECK

SCALE: 3/4" = 1'-0"

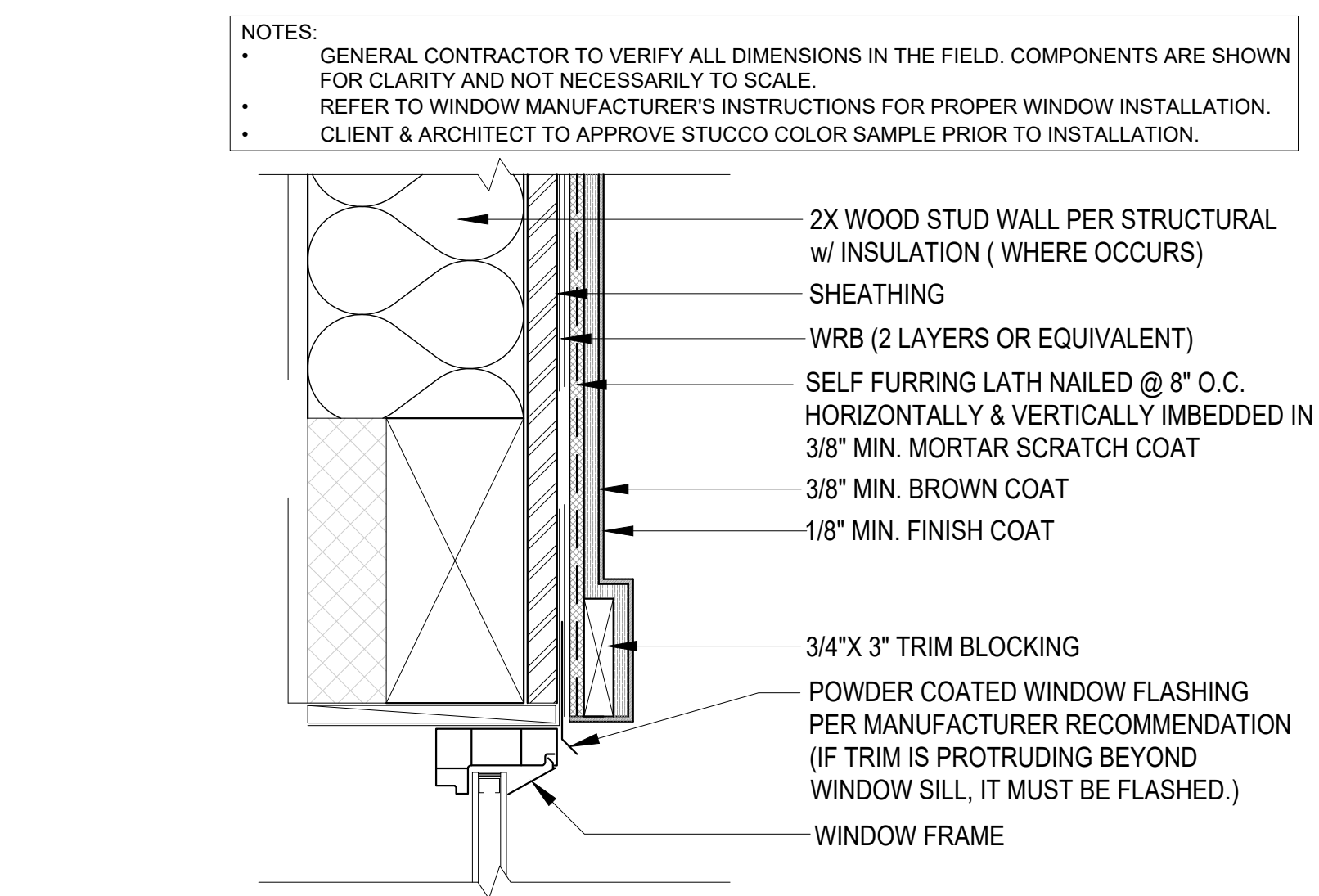


1 1st FLOOR DECK & RAILING

SCALE: 3/4" = 1'-0"

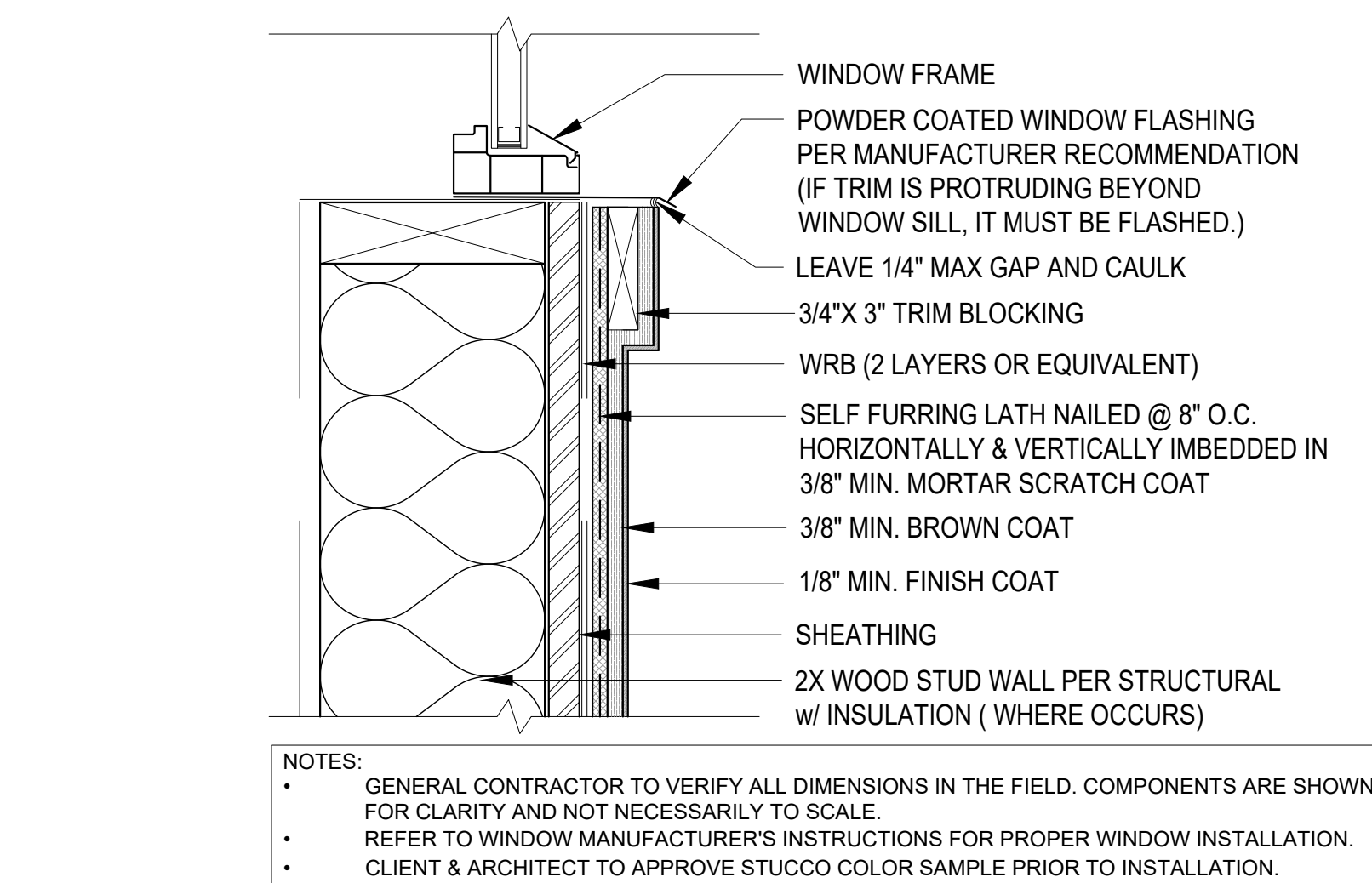
8 WINDOW JAMB @ STUCCO

SCALE: 3" = 1'-0"



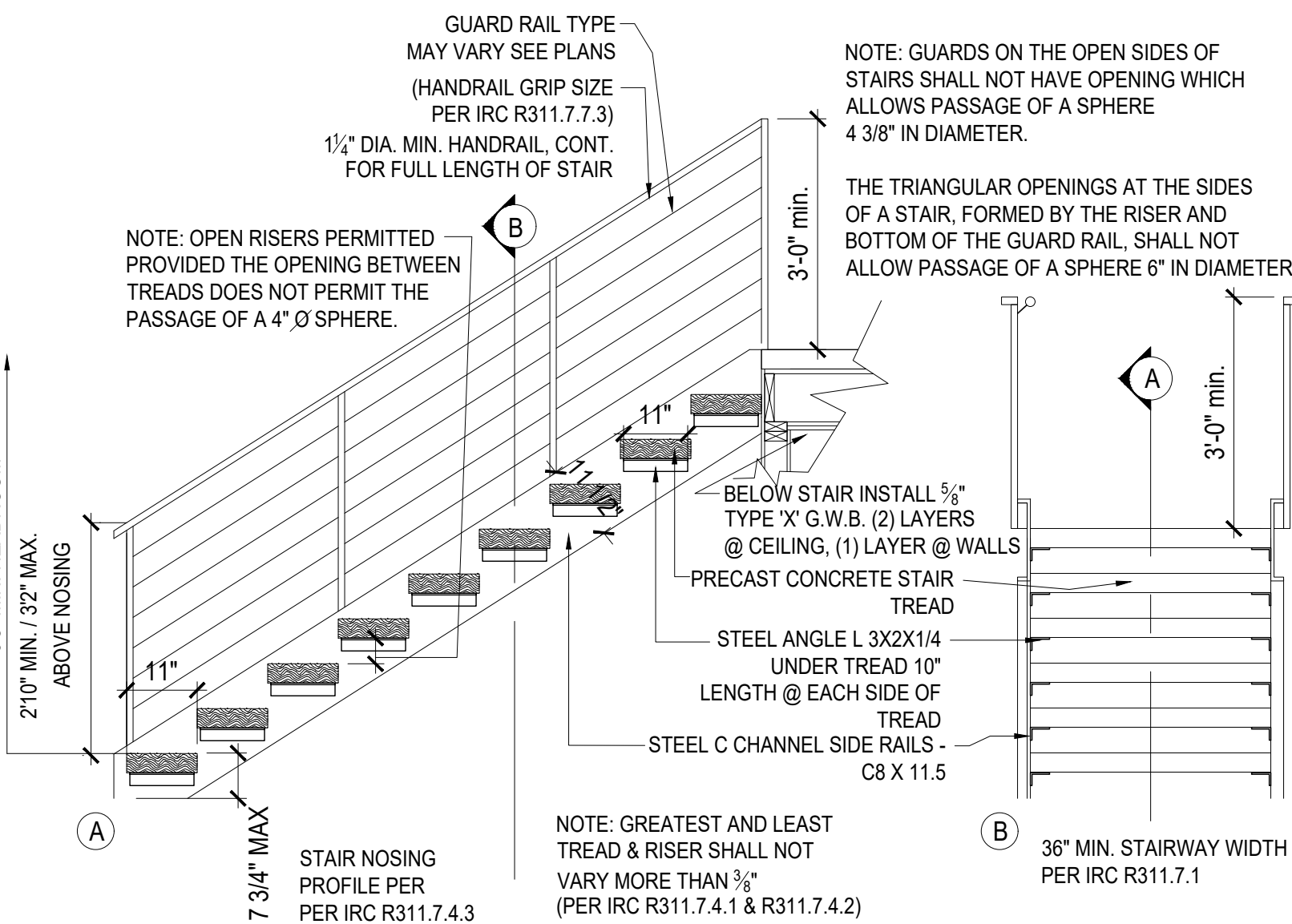
7 WINDOW HEAD @ STUCCO

SCALE: 3" = 1'-0"



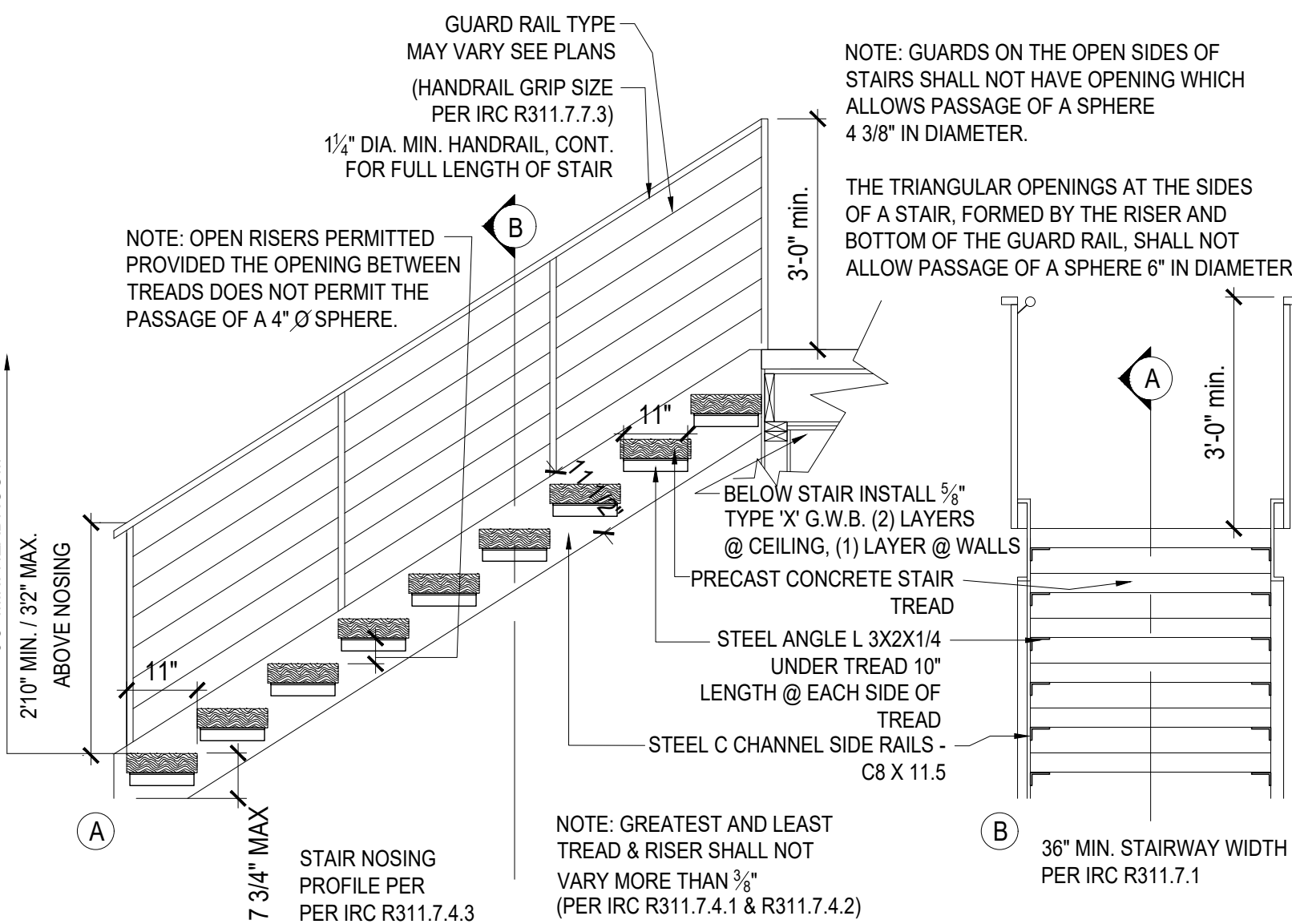
6 WINDOW SILL @ STUCCO

SCALE: 3" = 1'-0"



5 STAIRS @ EXTERIOR DECK

SCALE: 1/2" = 1'-0"



12 XXX

SCALE: 1" = 1'-0"

11 XXX

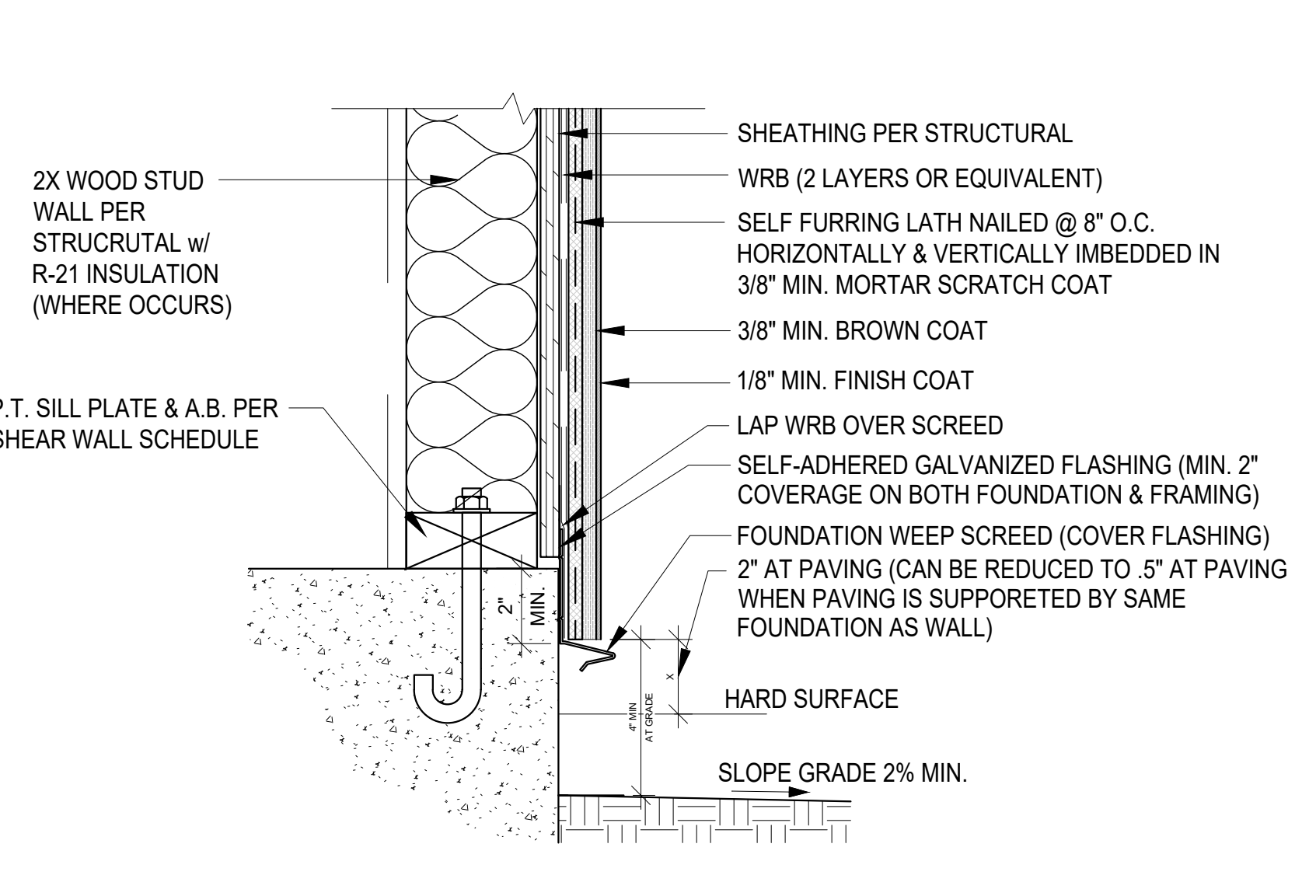
SCALE: 1" = 1'-0"

10 XXX

SCALE: 1" = 1'-0"

9 STUCCO @ FOUNDATION

SCALE: 3" = 1'-0"



16 XXX

SCALE: 1" = 1'-0"

15 XXX

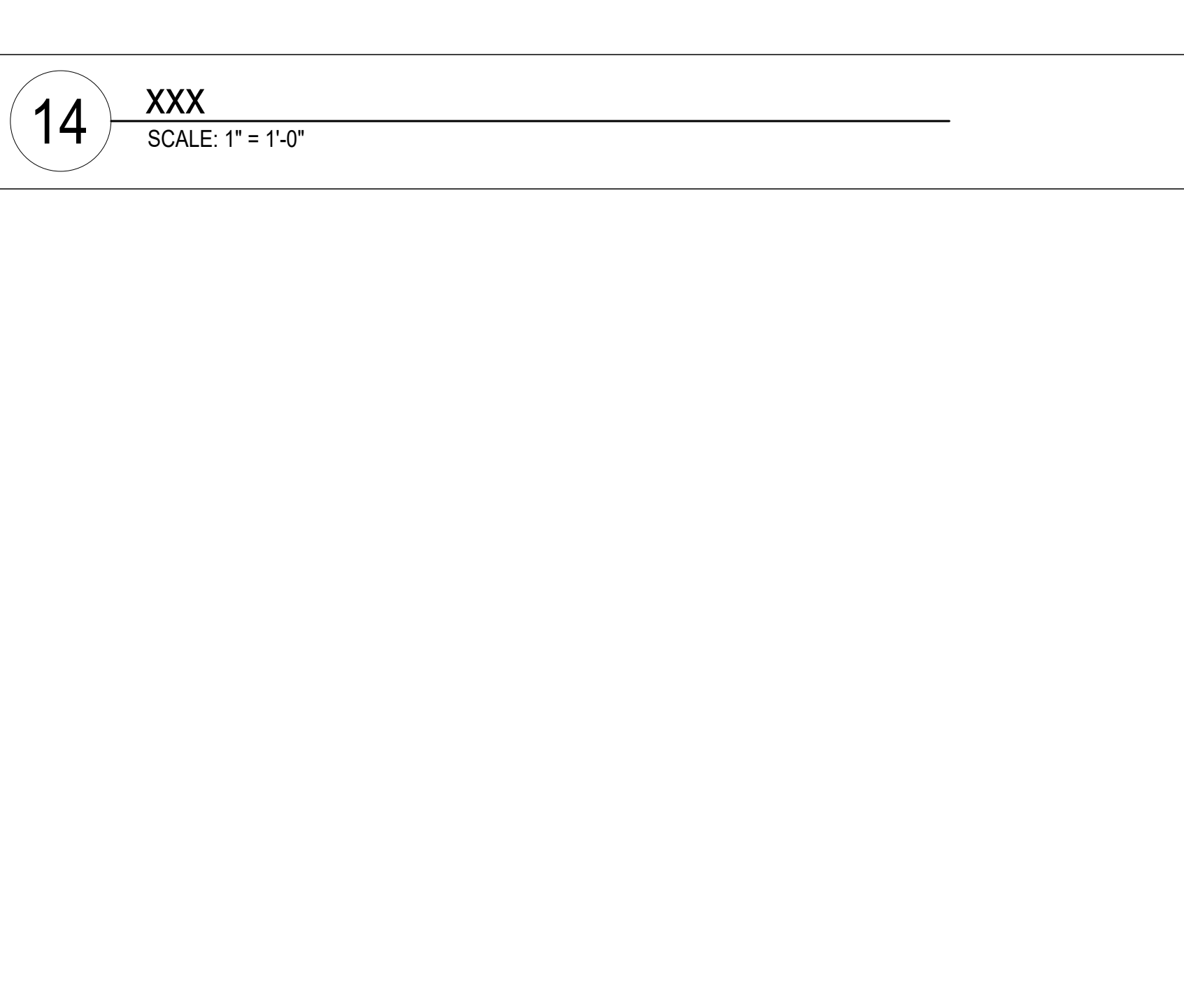
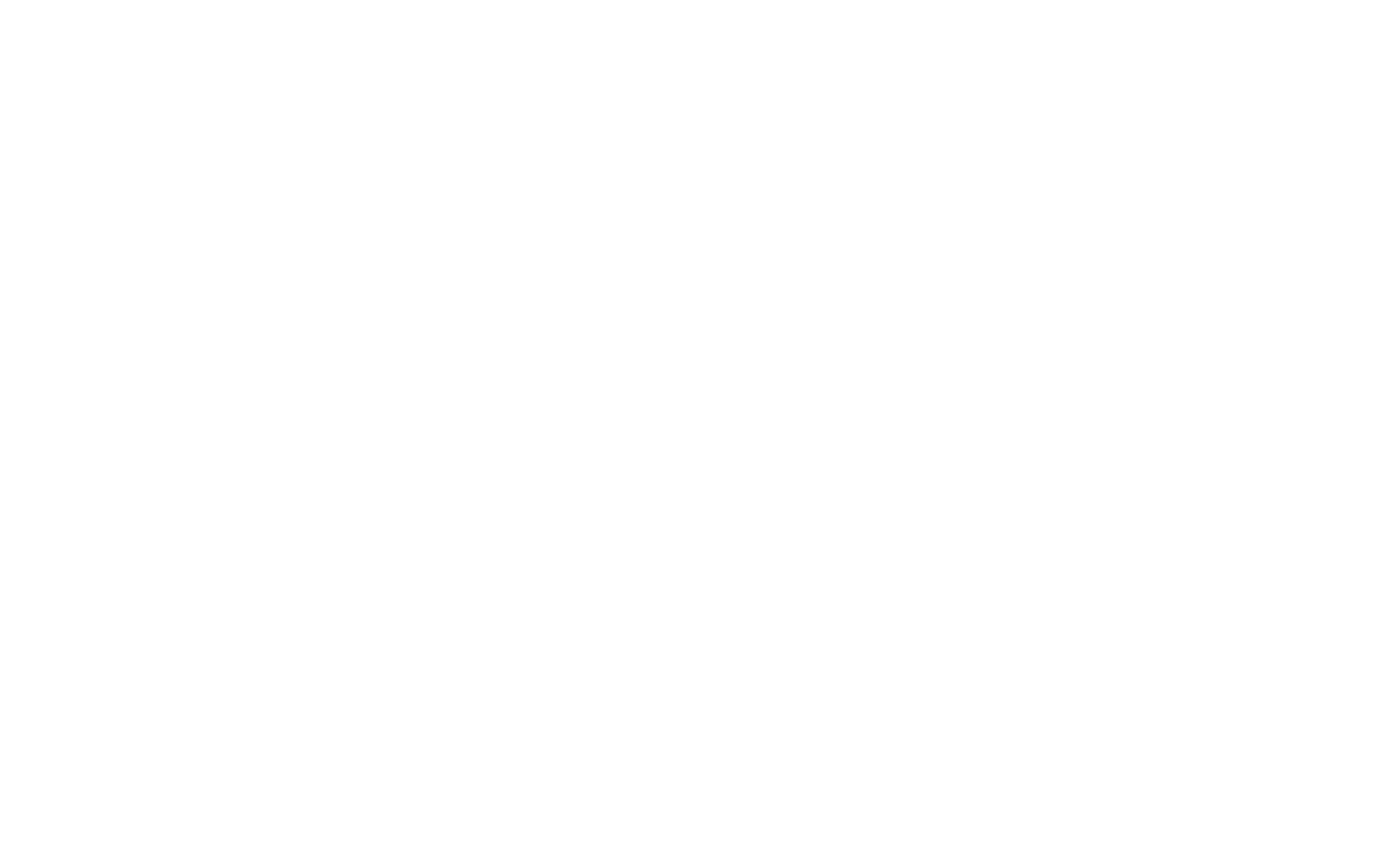
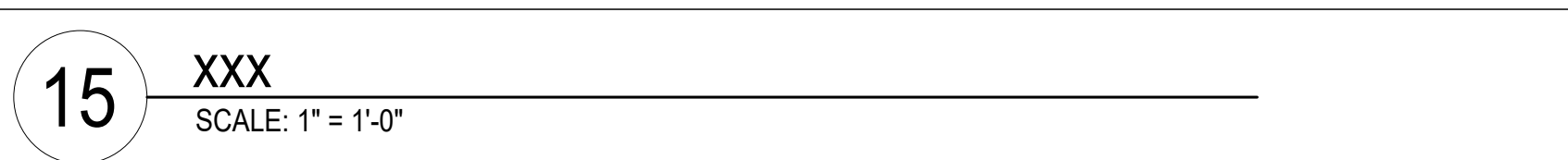
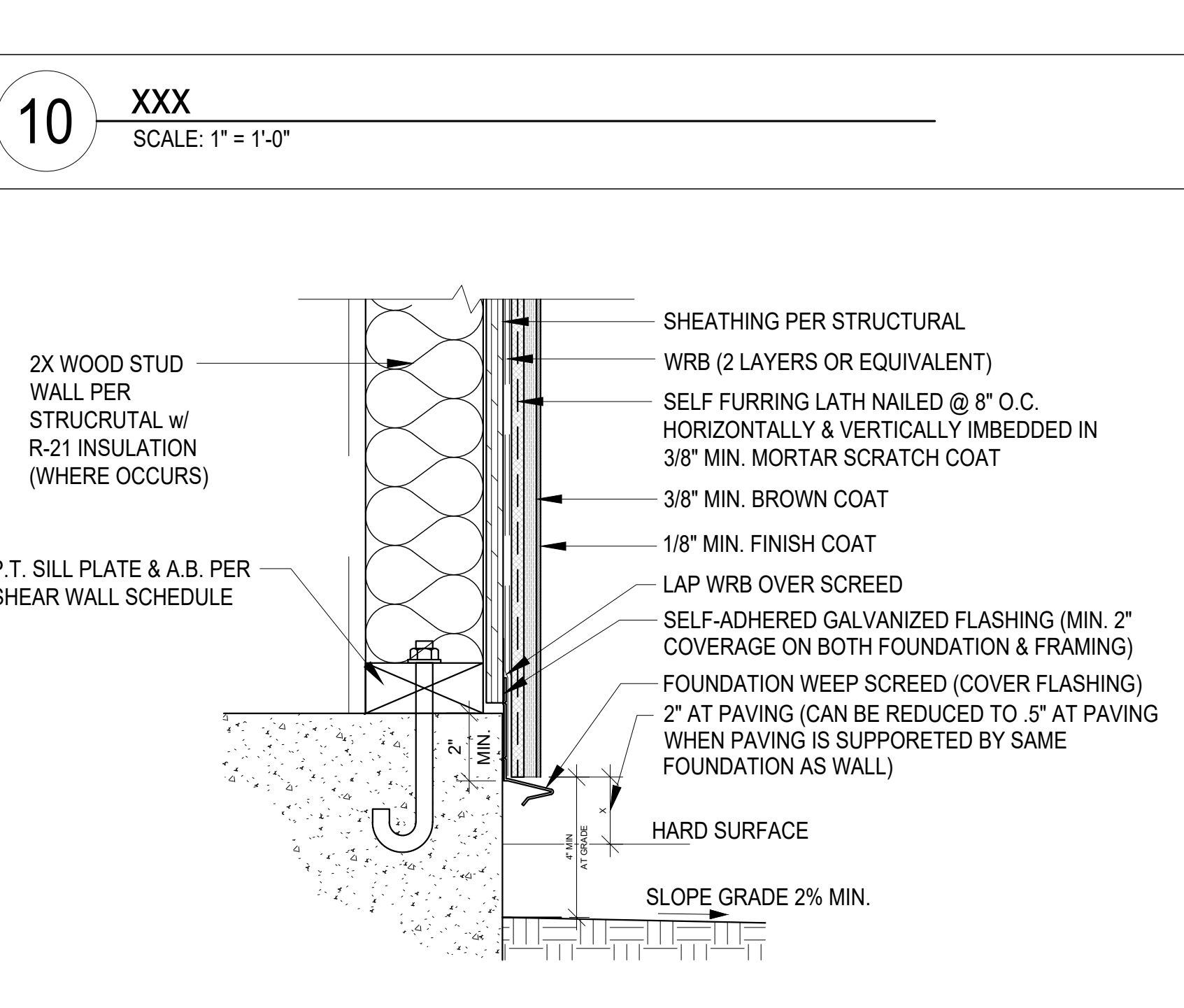
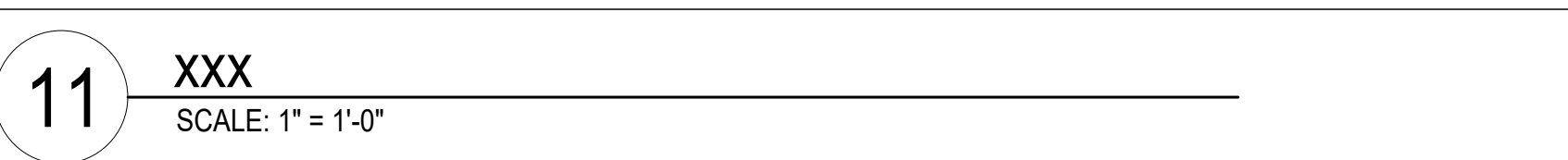
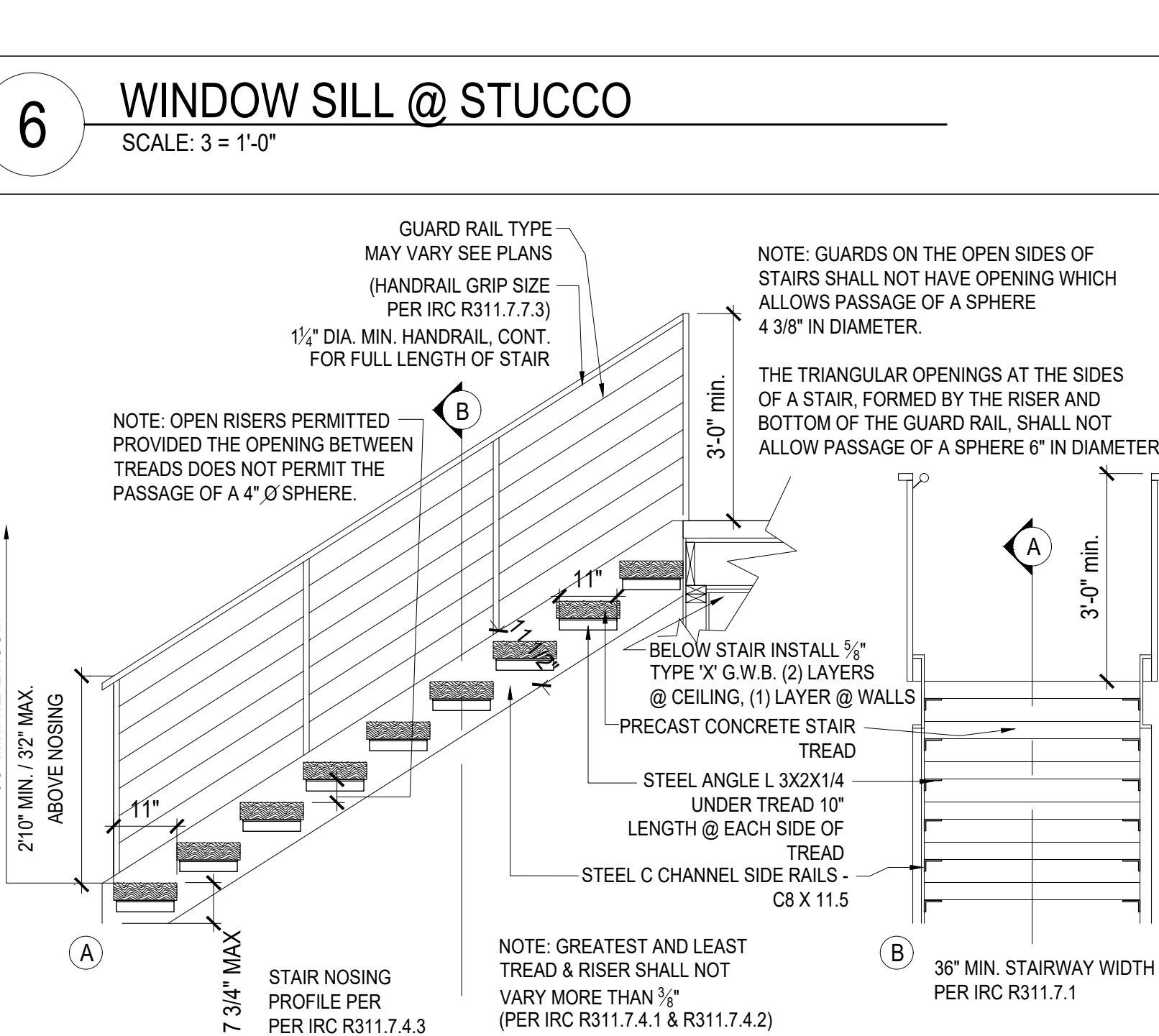
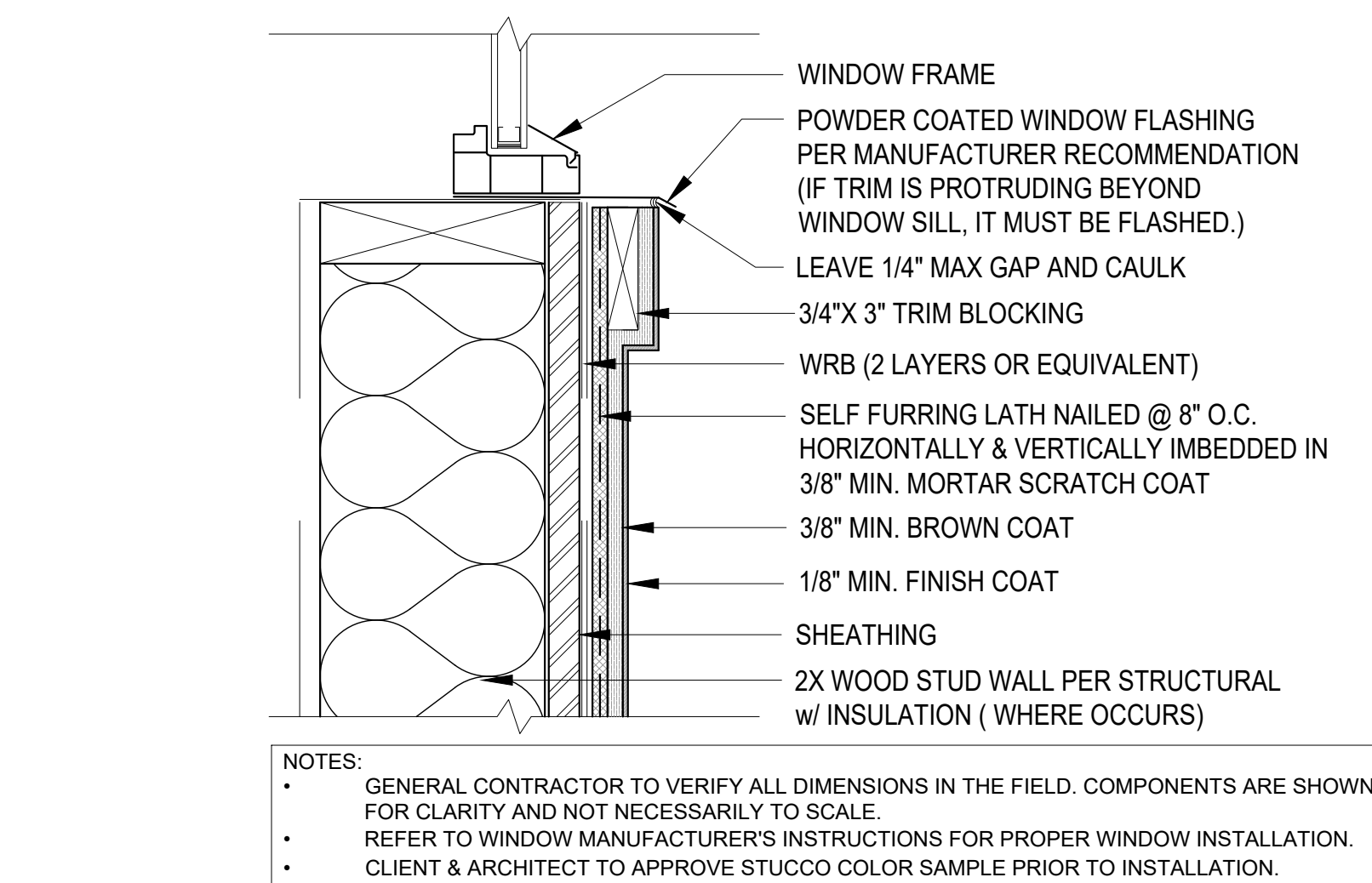
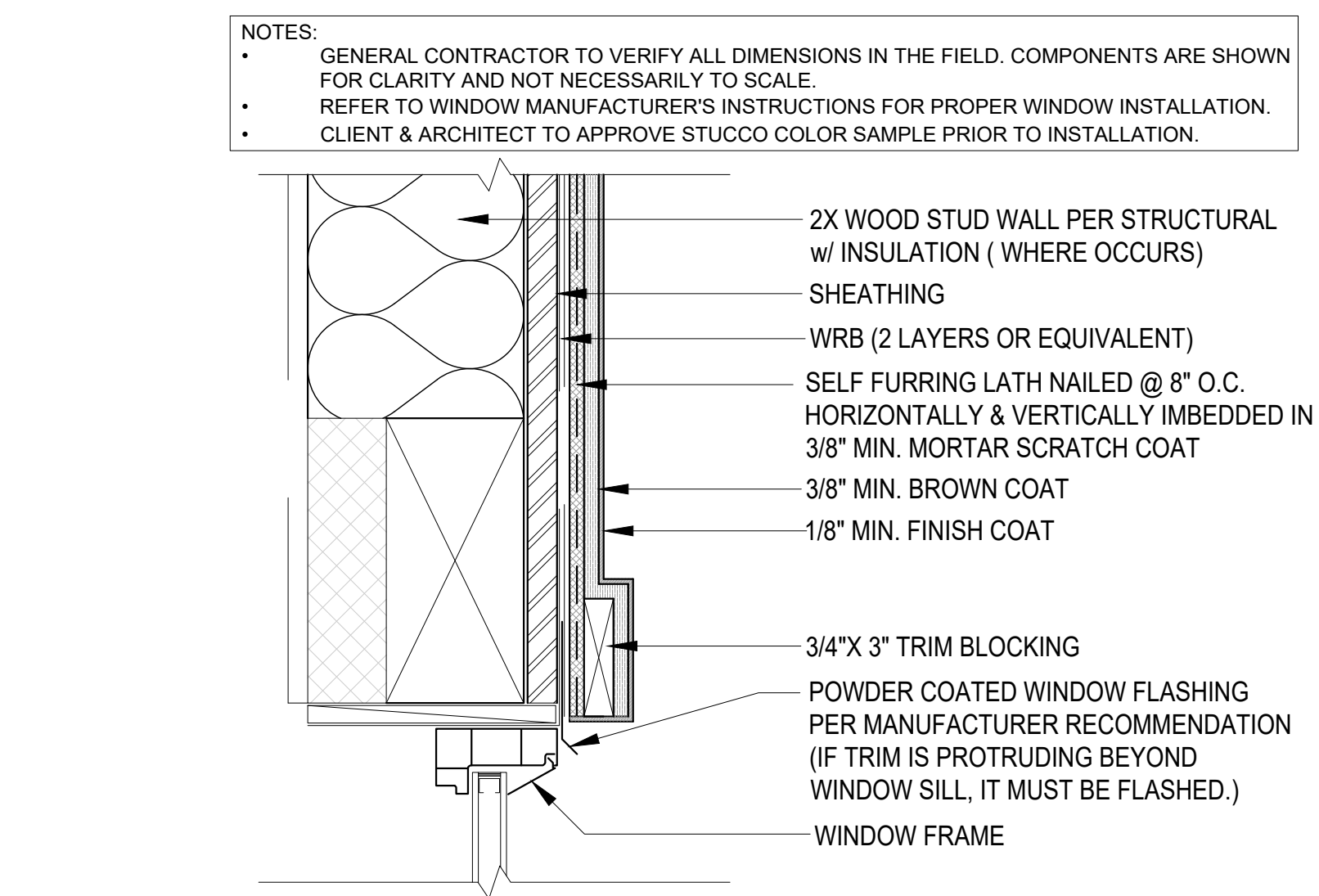
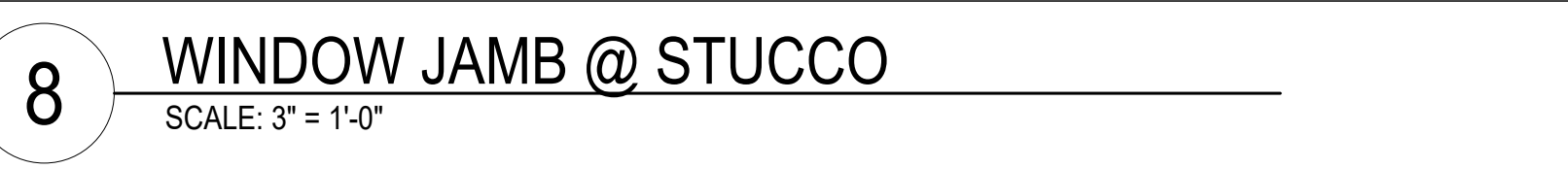
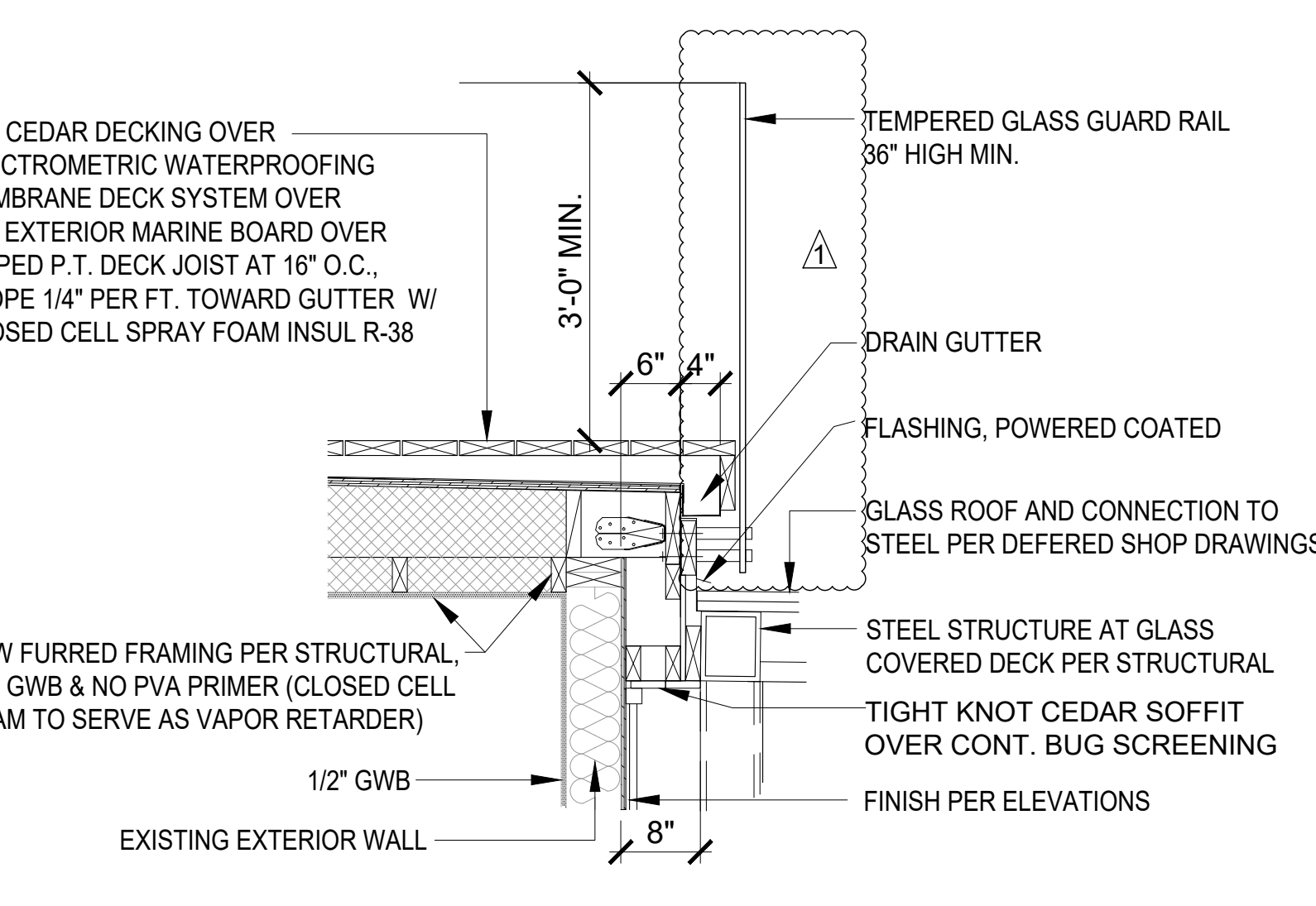
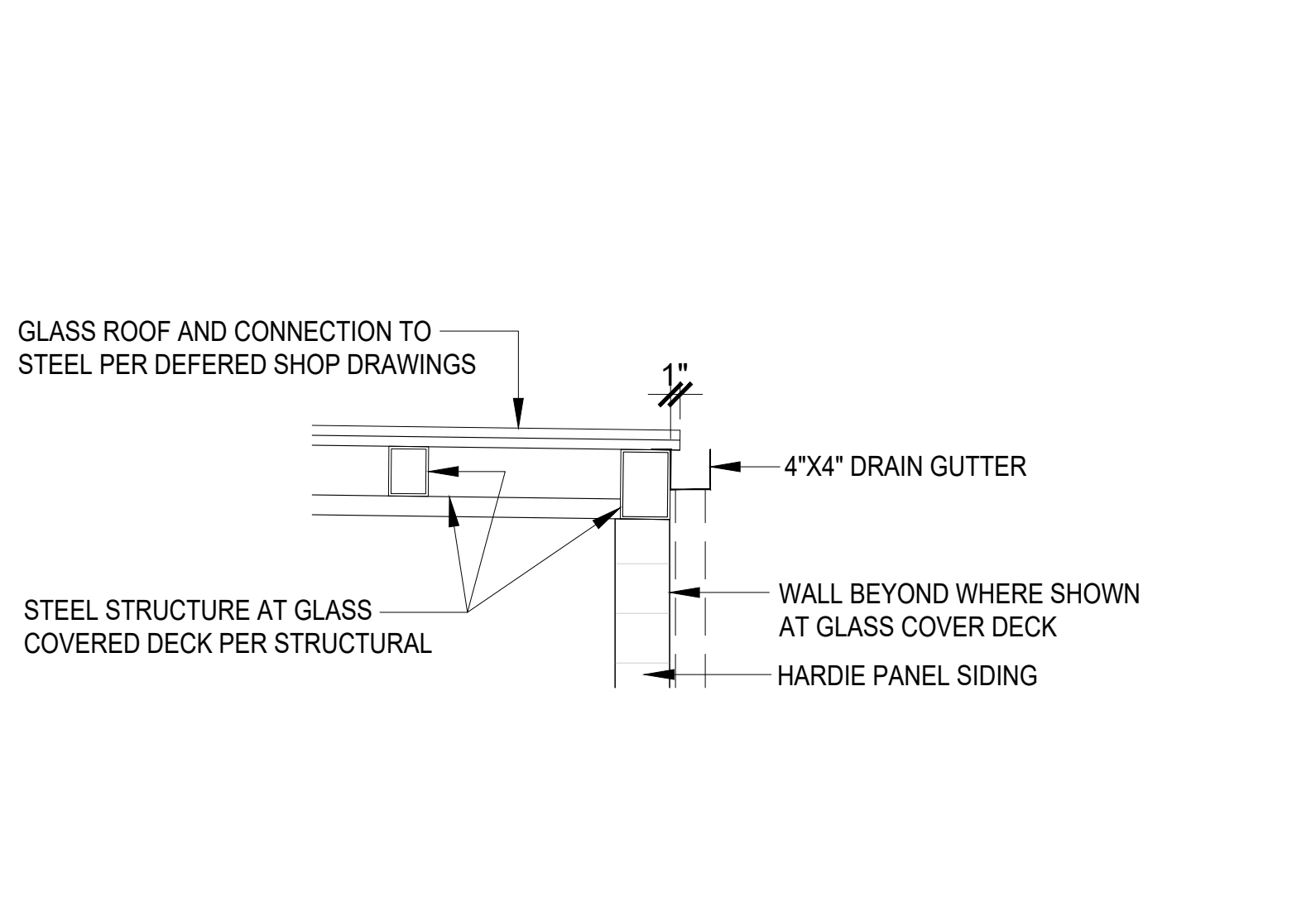
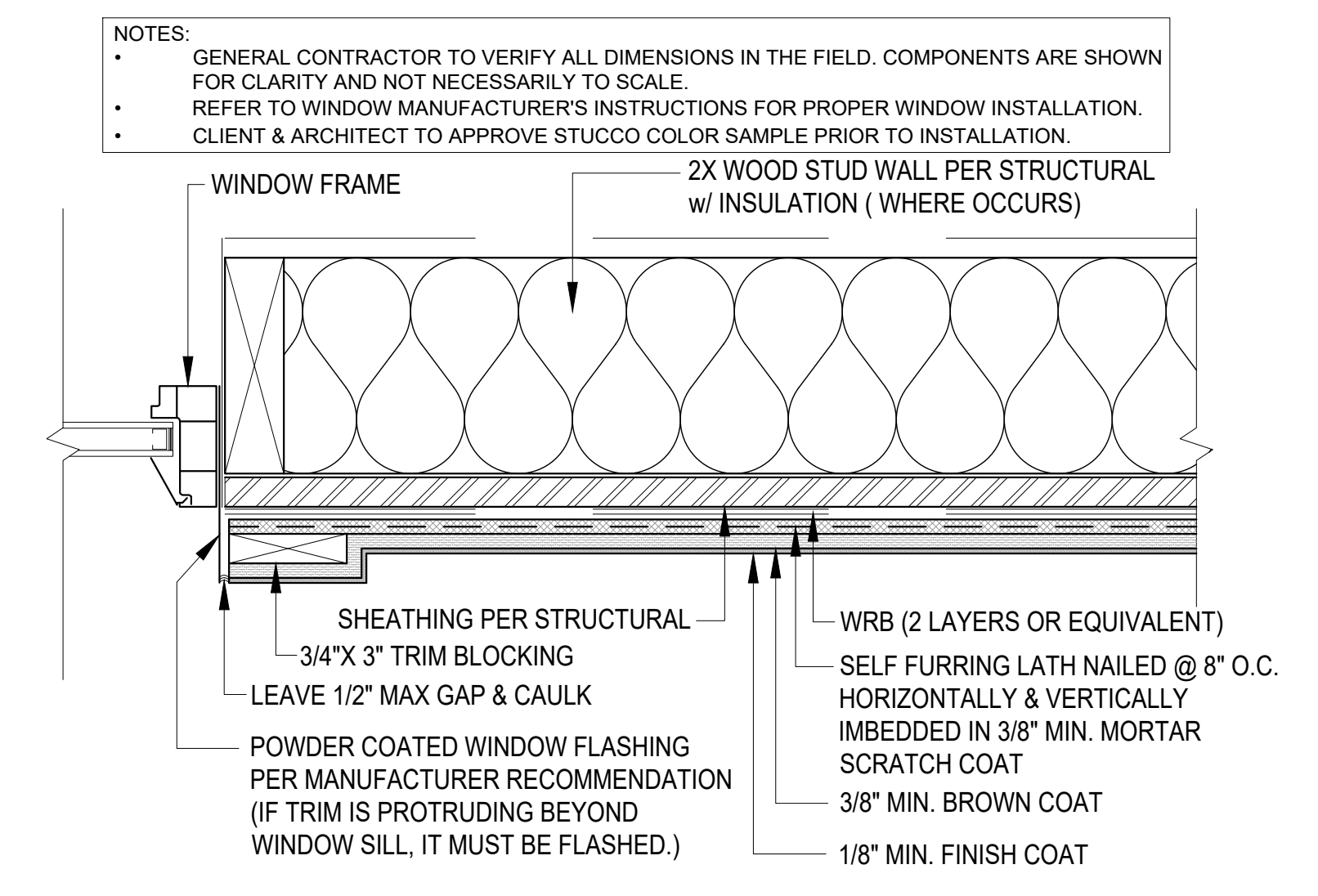
SCALE: 1" = 1'-0"

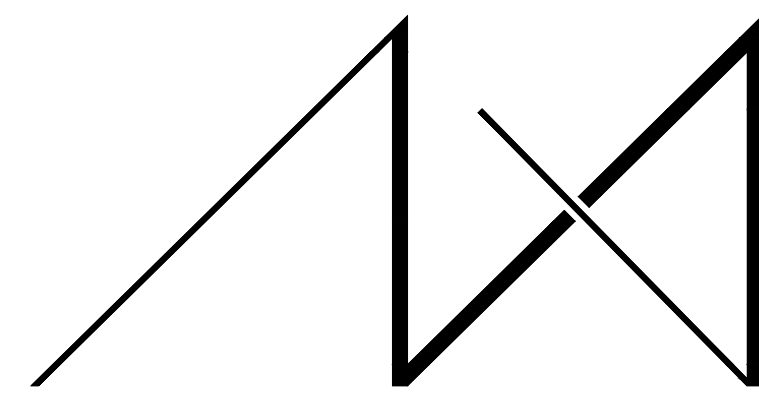
14 XXX

SCALE: 1" = 1'-0"

13 XXX

SCALE: 1" = 1'-0"





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REGISTRATION:



INTAKE: DATE:

REVISIONS: DATE:

- 1.
- 2.
- 3.
- 4.
- 5.

PROJECT / CLIENT:

9820 SE 35TH PLACE

ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

DETACHED GARAGE CONSTRUCTION PLAN

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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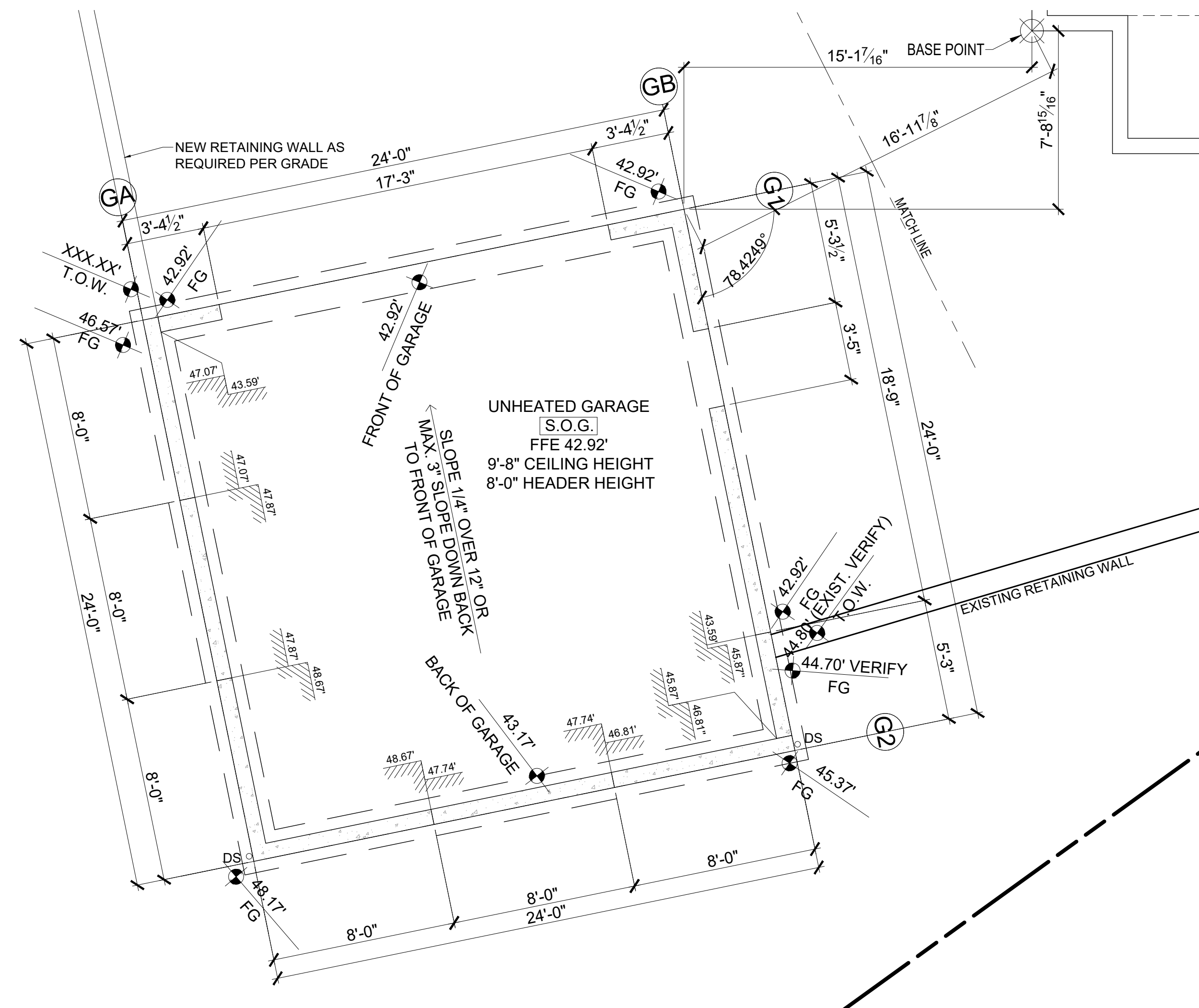
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

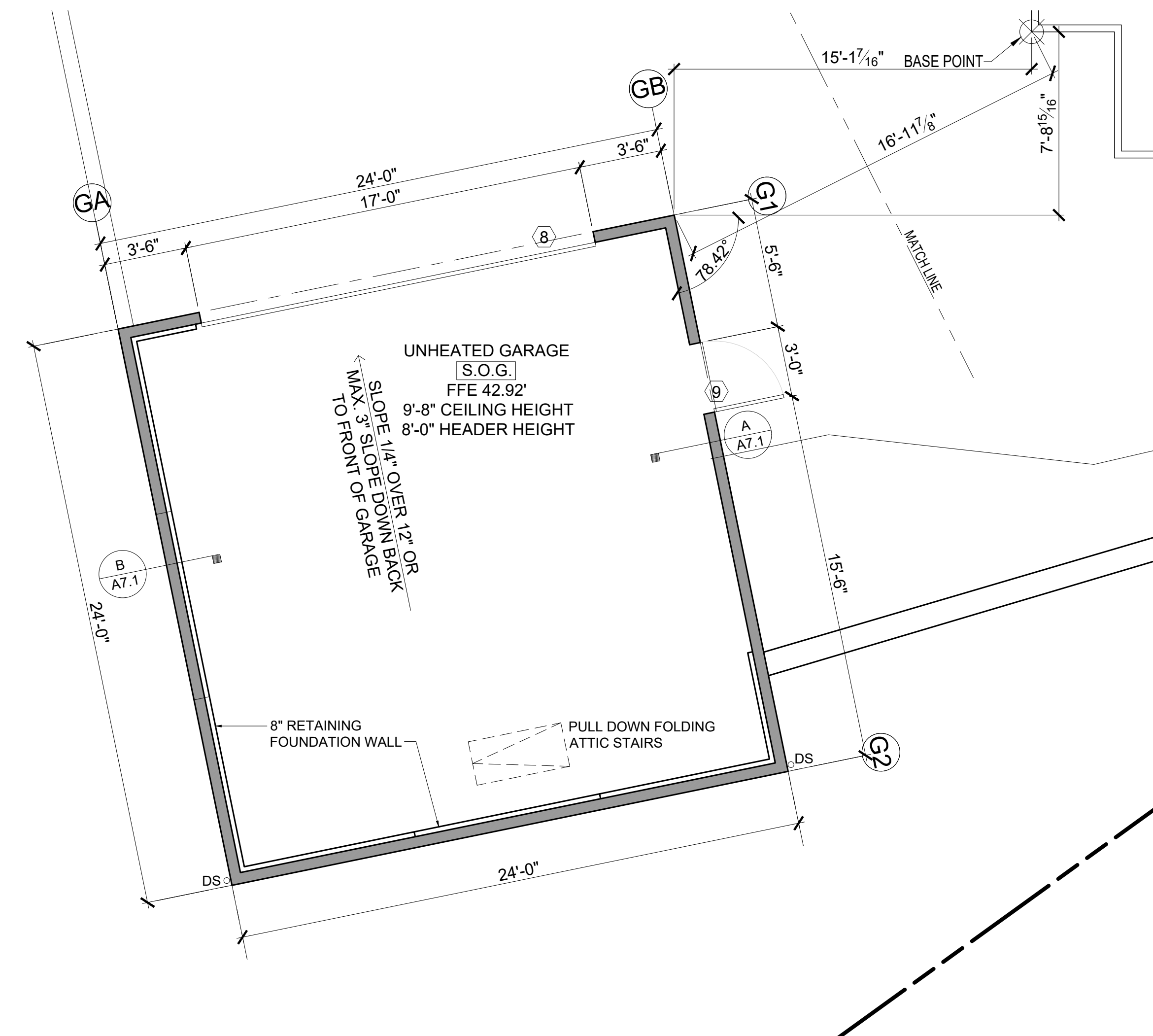
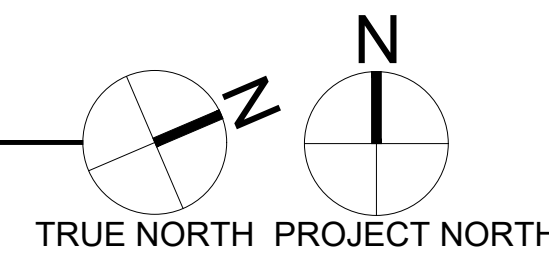
PLOT SCALE: 1:1

A7.0



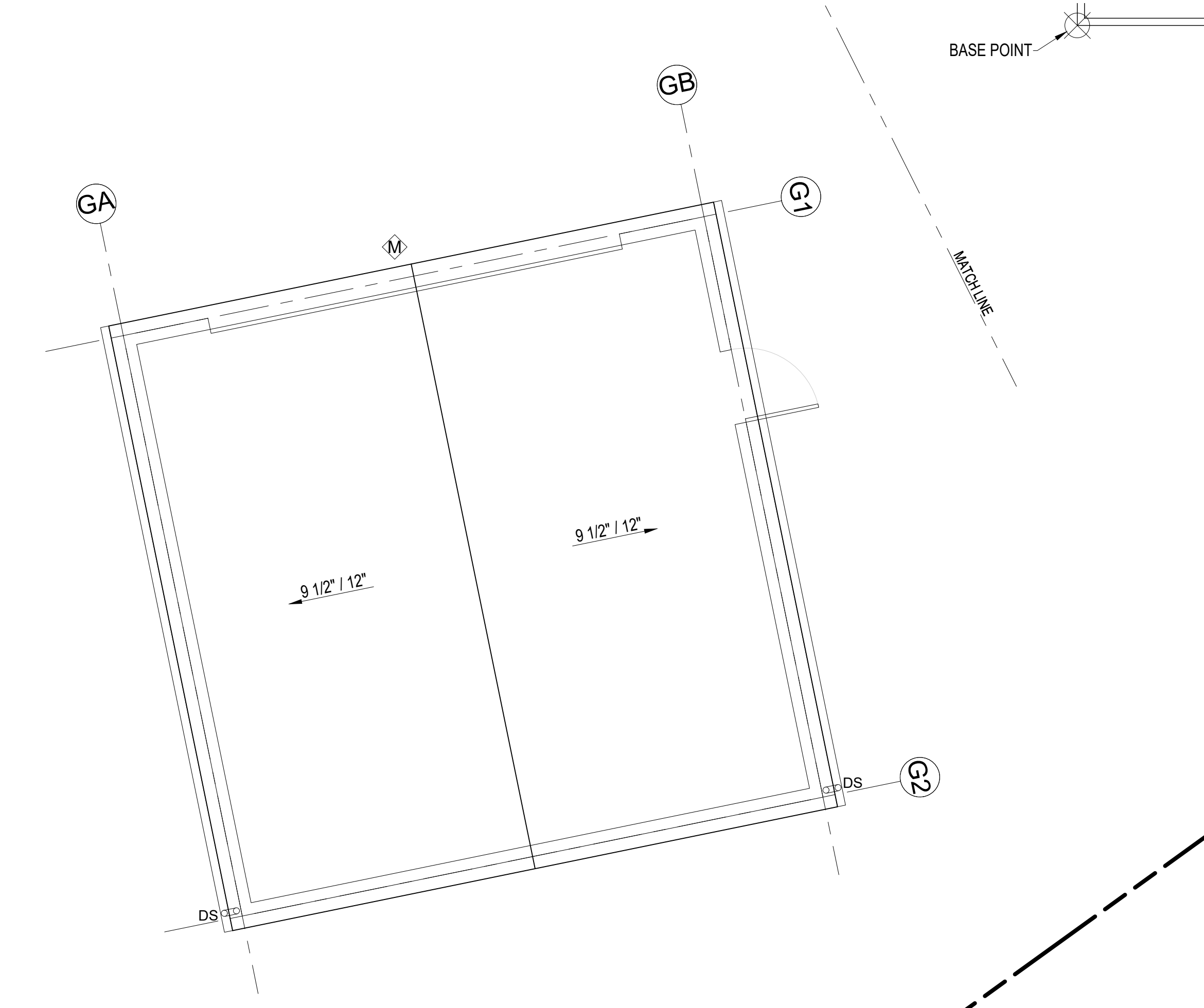
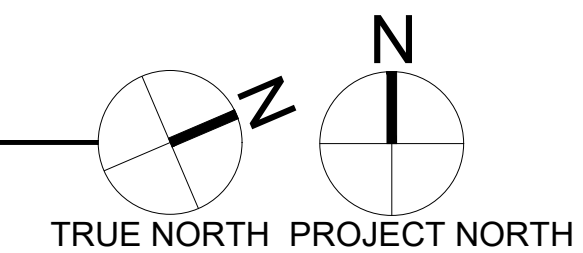
DETACHED GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



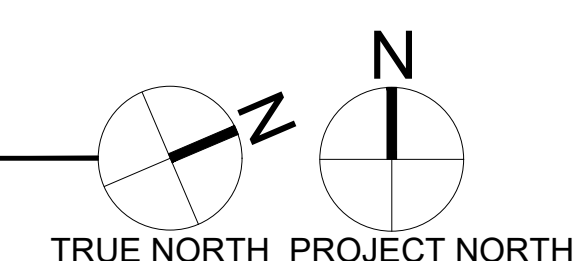
DETACHED GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



DETACHED GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF - VENTILATION CALCULATION				
Detached Garage - Roof trusses				
Roof Area:	533.0	s.f.		
Ventilation Required:	533.0	s.f. x 144 s.i. / 300"=	255.8	s.i. Req'd
Proposed Ventilation :				
SmartVent Shingle vent (upper or ridge)	4.5	s.i. nfa / l.f.=	4.5	s.i. / l.f.
Provide :	28.0	l.f. Upper Ventilation =	126.0	s.i.
SmartVent Shingle vent (lower roof edge)	4.5	s.i. nfa / l.f. =	4.5	s.i.
Provide:	30.0	l.f. Eave Edge Ventilation =	135.0	s.i.
Total Ventilation Provided	261.0	s.i. IS GREATER THAN	255.8	s.i. Req'd

FLOOR PLAN NOTES

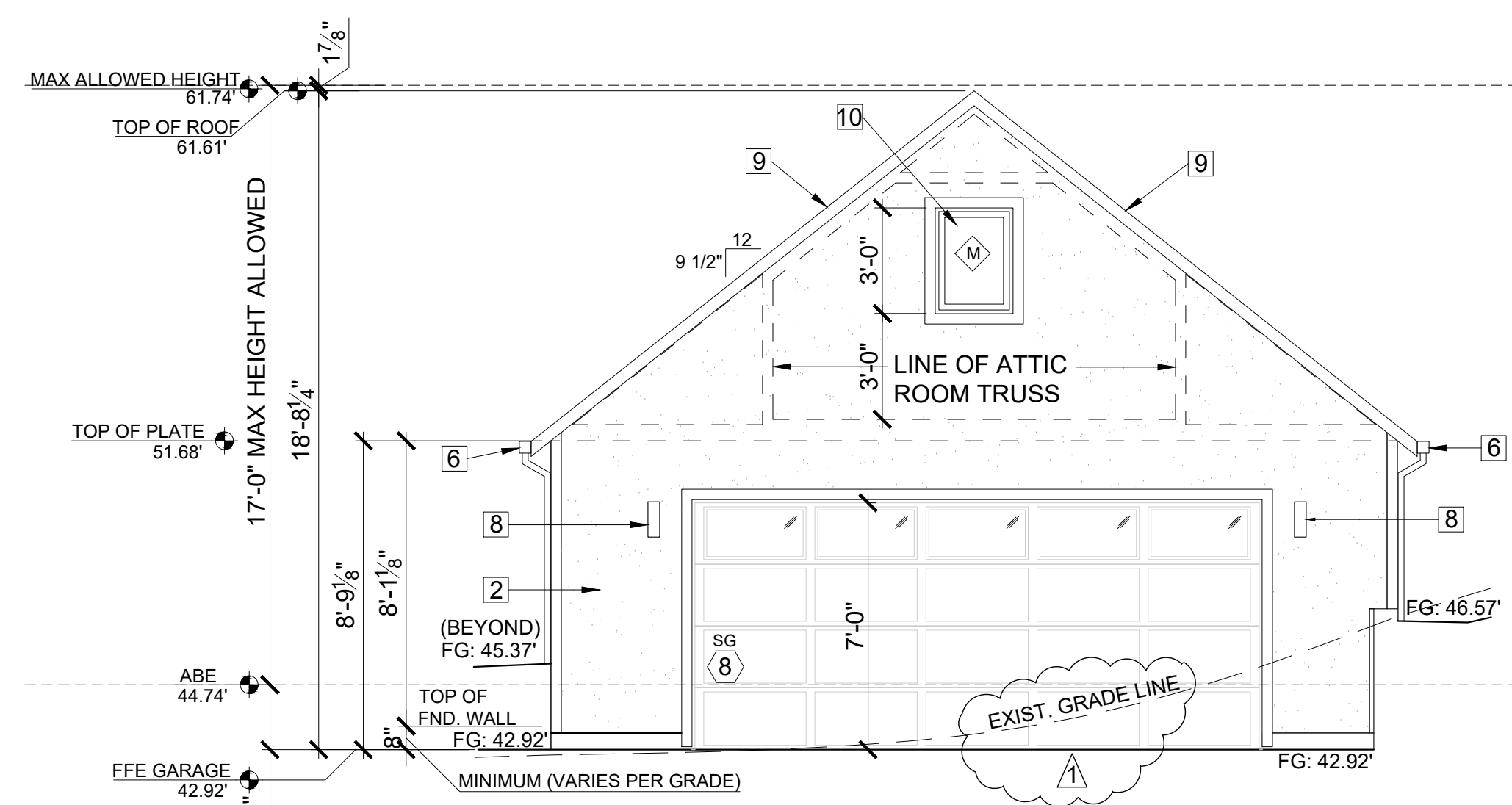
1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
3. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES. REFER TO SHEET A4.0 WINDOW AND DOOR SIZES.
4. DOOR JAMB 4.5" U.N.O.
5. SEE ELEVATIONS SHEETS A7.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
7. EXTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O.
8. INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
9. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
10. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.

SYMBOL LEGEND

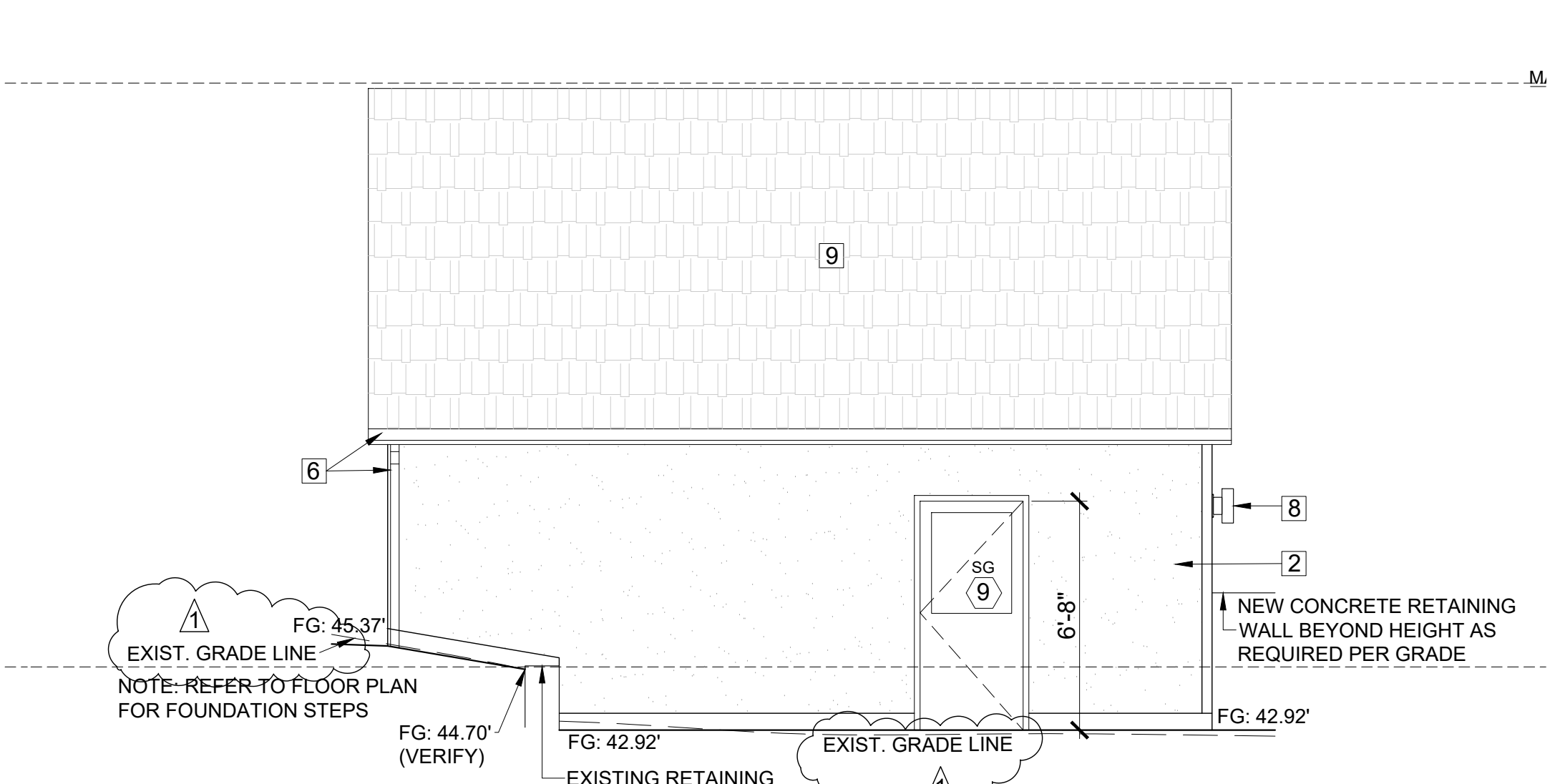
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- 9 DOORS
- C WINDOWS
- 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

ELEVATIONS NOTES & KEY NOTES:

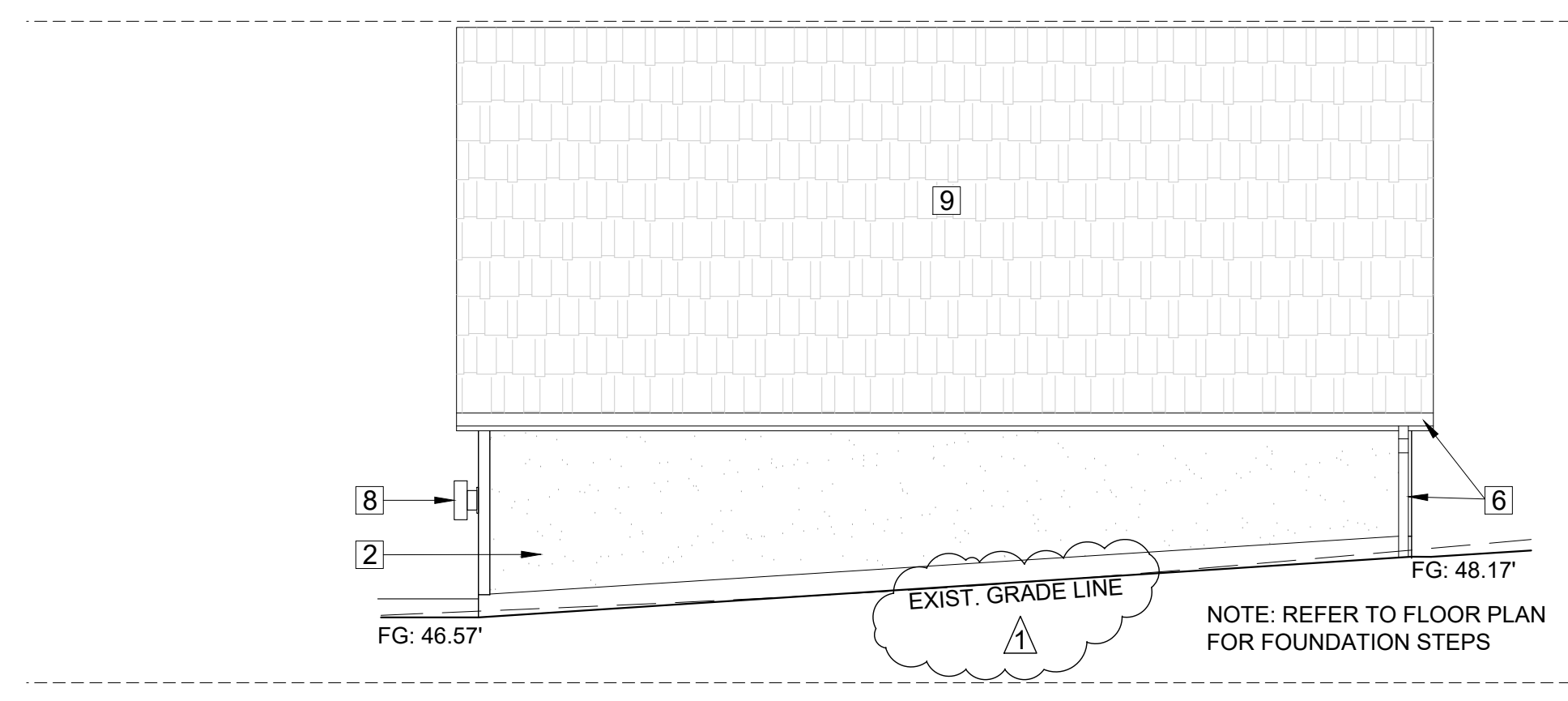
1. VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
2. STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2; SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
3. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
4. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
5. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
6. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
7. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
8. LIGHTING AT EXTERIOR DOORS, TYP.
9. MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
10. WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.



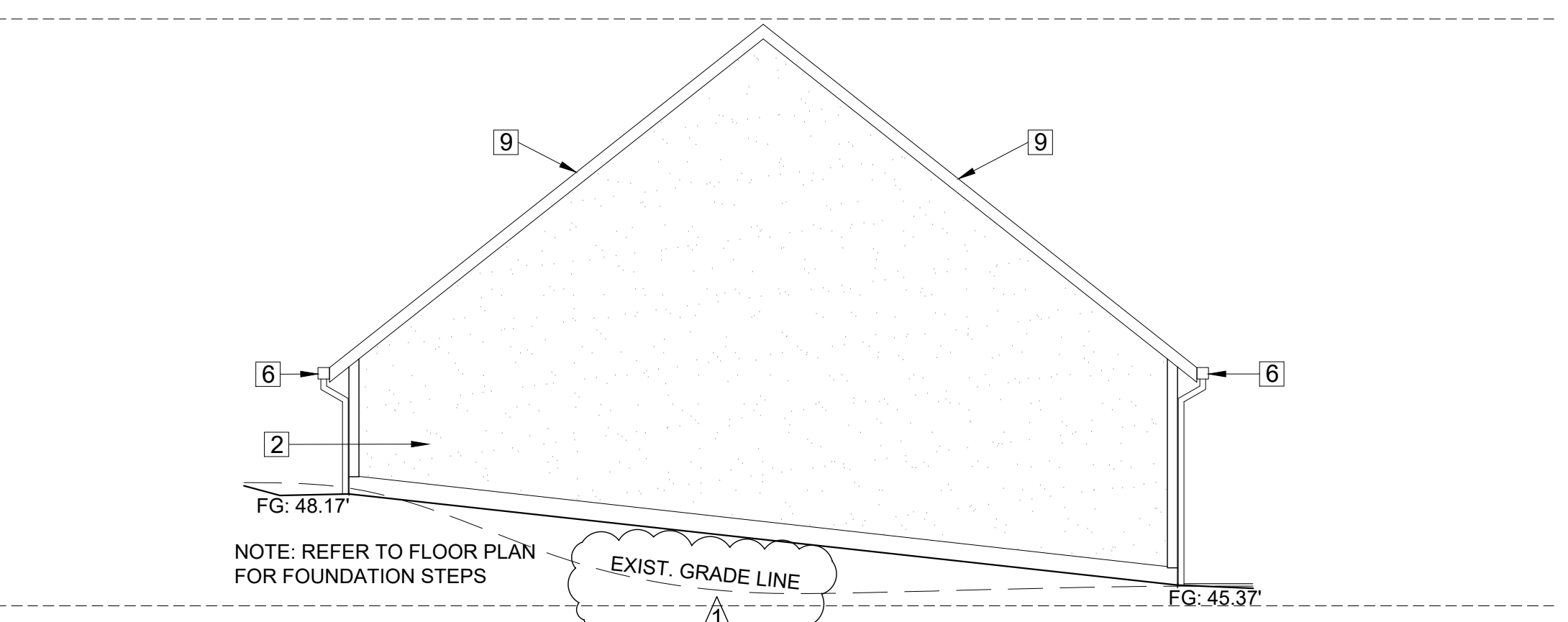
DETACHED GARAGE PROJECT NORTH ELEVATION
SCALE: 1/4" = 1'-0"



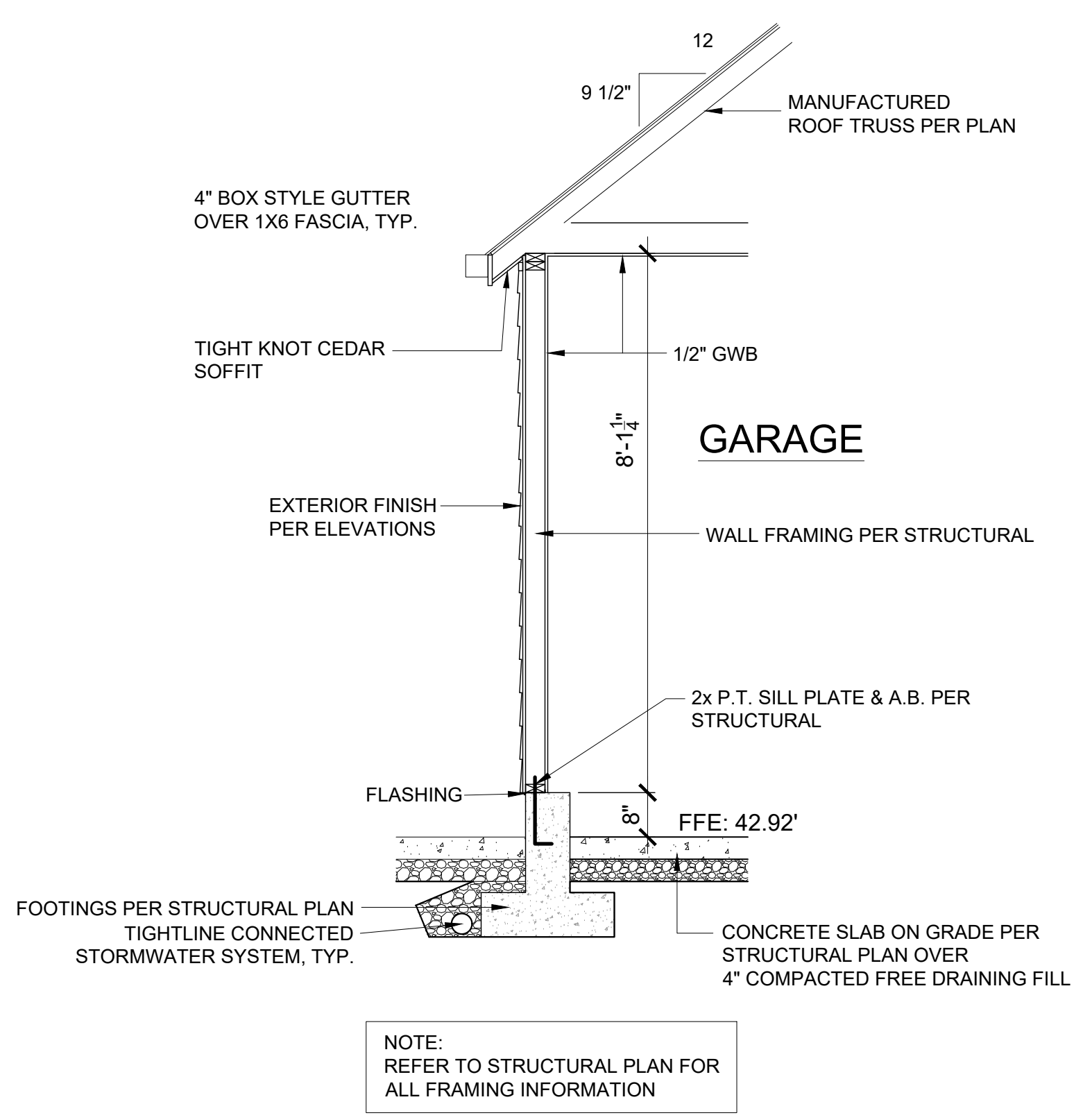
DETACHED GARAGE PROJECT EAST ELEVATION
SCALE: 1/4" = 1'-0"



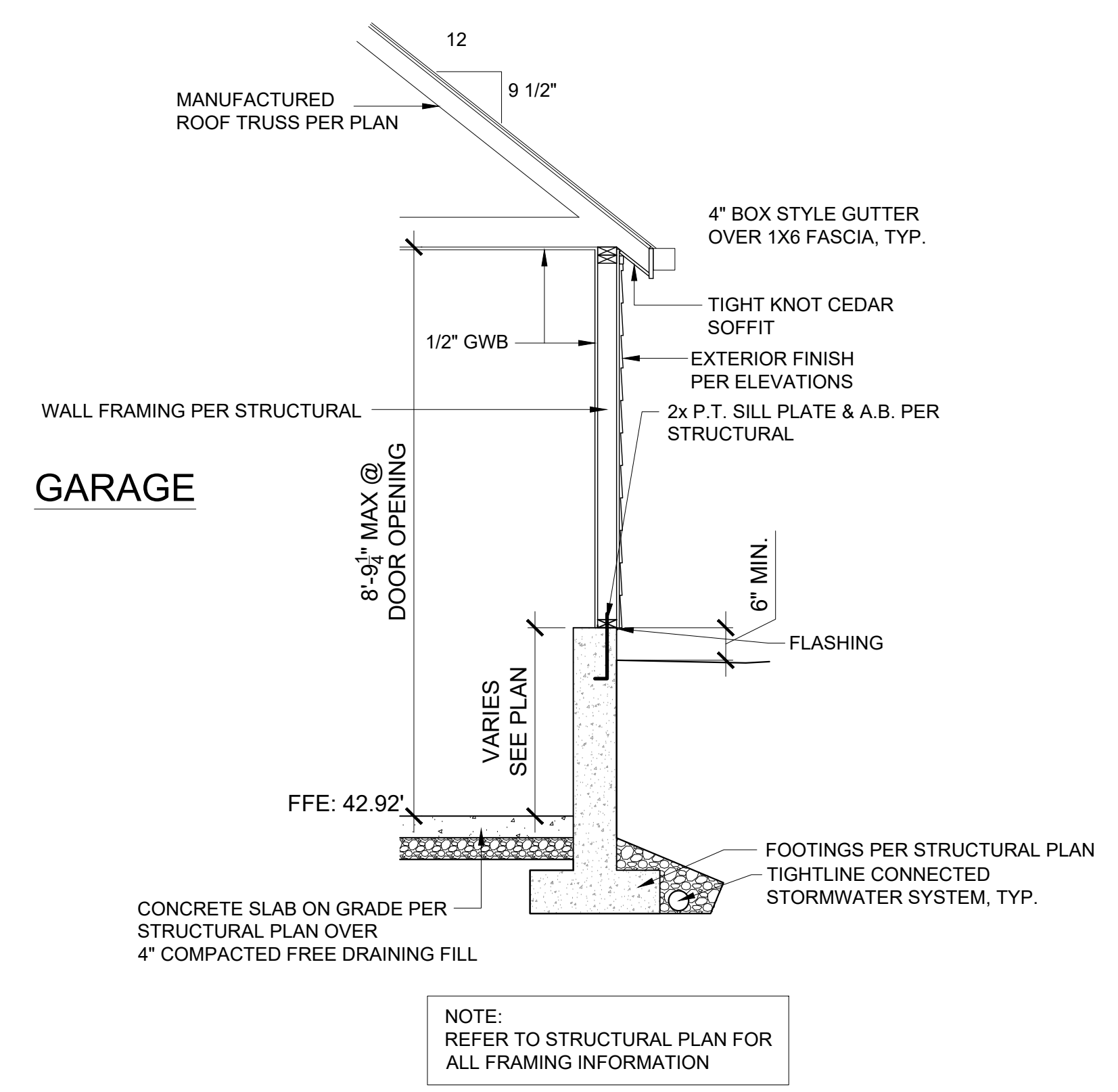
DETACHED GARAGE PROJECT WEST ELEVATION
SCALE: 1/4" = 1'-0"



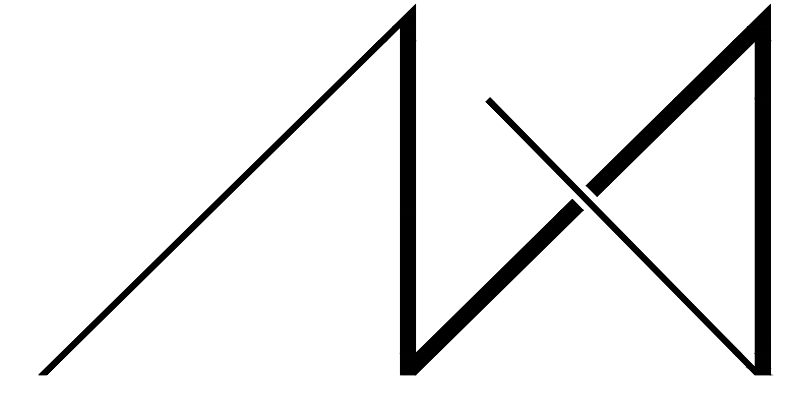
DETACHED GARAGE PROJECT SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



A DETACHED GARAGE WALL SECTION
SCALE: 1/2" = 1'-0" @ FULL HEIGHT FRAMED WALL



B DETACHED GARAGE WALL SECTION
SCALE: 1/2" = 1'-0" @ RETAINING WALL FOUNDATION



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INTAKE: DATE:

REVISIONS: DATE:

1. PER COMMENT 01-2005-081-	04-01-2021
2. SUB1-PLANS	
3.	
4.	
5.	

PROJECT / CLIENT:

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

DETACHED GARAGE ELEVATIONS

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

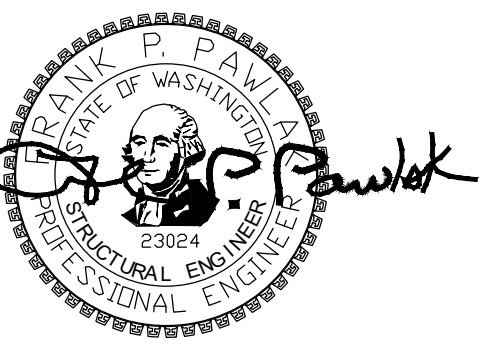
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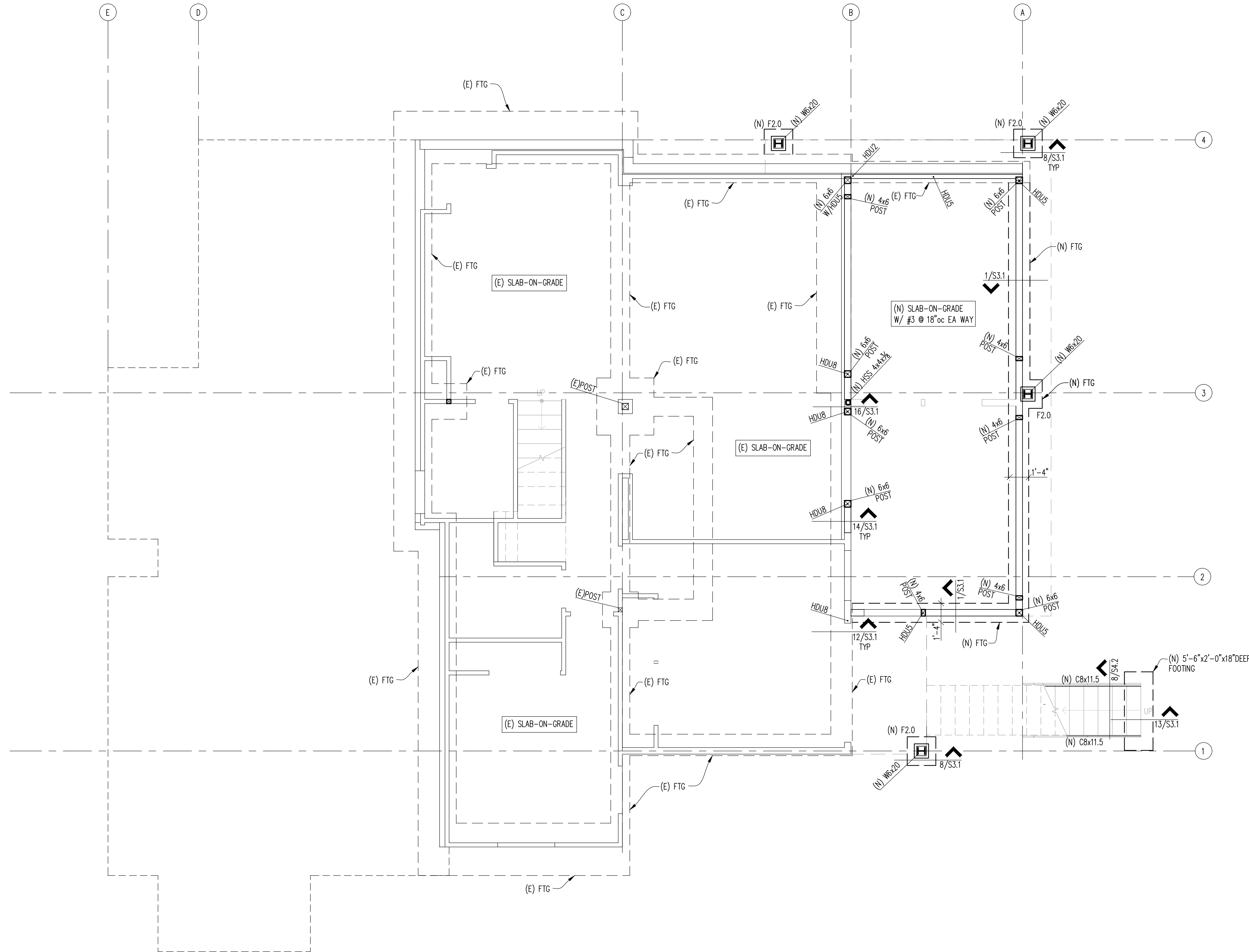
PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1 **A7.1**



PROJECT

9820 SE 35TH PLACE
 ACHIN & MARY CHEN
 9820 SE 35TH PL
 MERCER ISLAND, WA 98040



- NOTES:
 1. F2.X DENOTES FOOTING SIZE - FOOTING SCHEDULE.
 F2.0 IS 2'-0"x2'-0"x12" DEEP W/ (3) #5 EA WAY BOT
 2. SEE ARCH FOR DIMENSIONS.
 3. SEE ARCH FOR INSULATION BELOW SLAB-ON-GRADE, IF APPLICABLE.
 4. WALLS SHOWN ARE BASEMENT LEVEL WALLS.
 5. SEE SHEETS S1.X FOR CONCRETE DETAILS.
 6. H- INDICATES HOLD-DOWN TYPE, SEE 10/S4.1 FOR HOLD-DOWN SCHEDULE.
 7. SEE SHEET S2.2 FOR BASEMENT SHEARWALL LOCATIONS.

REVISIONS	
NO.	DATE
	11-4-20 PERMIT
▲	4/2/21 PERMIT RESPONSE

11/4/20	20-129
DATE	JOB #
AM	FPP
DESIGN	CHECKED
LMS	AS NOTED
DRAWN	SCALE

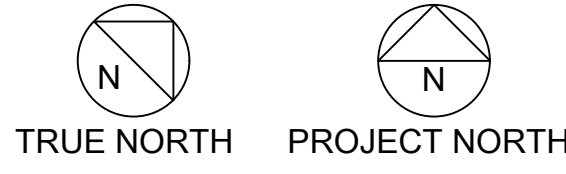
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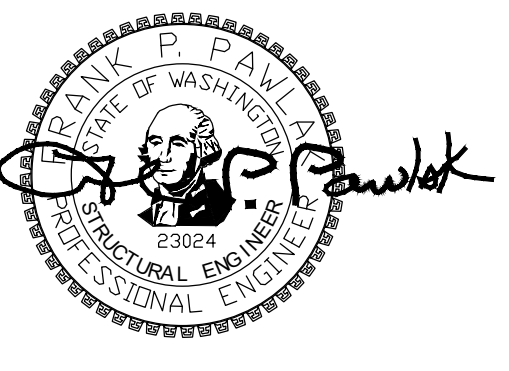
SHEET TITLE

FOUNDATION PLAN

SHEET NO.

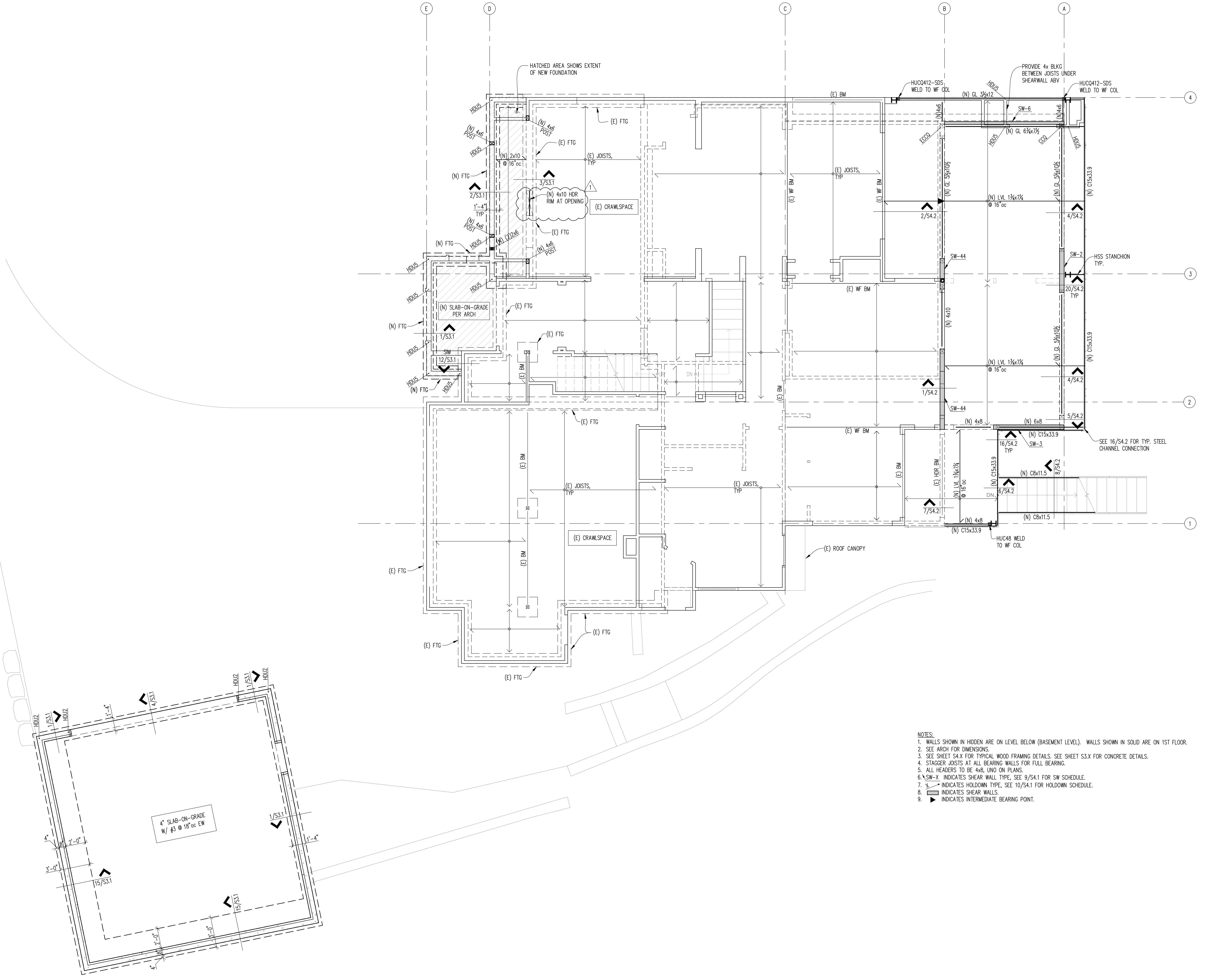
S2.1





PROJECT

9820 SE 35TH PLACE
 ACHIN & MARY CHEN
 9820 SE 35TH PL
 MERCER ISLAND, WA 98040



- NOTES:
1. WALLS SHOWN IN HIDDEN ARE ON LEVEL BELOW (BASEMENT LEVEL). WALLS SHOWN IN SOLID ARE ON 1ST FLOOR.
 2. SEE ARCH FOR DIMENSIONS.
 3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS. SEE SHEET S3.X FOR CONCRETE DETAILS.
 4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
 5. ALL HEADERS TO BE 4x8, UNO ON PLANS.
 6. SW-X INDICATES SHEAR WALL TYPE, SEE 9/S4.1 FOR SW SCHEDULE.
 7. X- INDICATES HOLDDOWN TYPE, SEE 10/S4.1 FOR HOLDOWN SCHEDULE.
 8. [Symbol] INDICATES SHEAR WALLS.
 9. [Symbol] INDICATES INTERMEDIATE BEARING POINT.

REVISIONS

NO.	DATE	DESCRIPTION
114-20	PERMIT	
4/2/21	PERMIT RESPONSE	

11/4/20	20-129
DATE	JOB #
AM	FPF
DESIGN	CHECKED
LMS	AS NOTED
DRAWN	SCALE

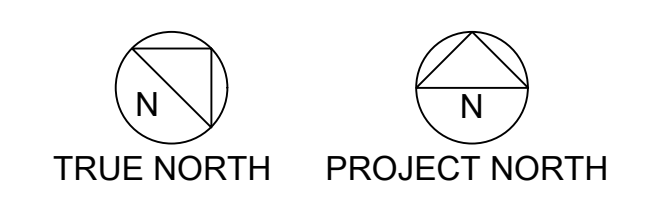
SDCI STAMP

SHEET TITLE

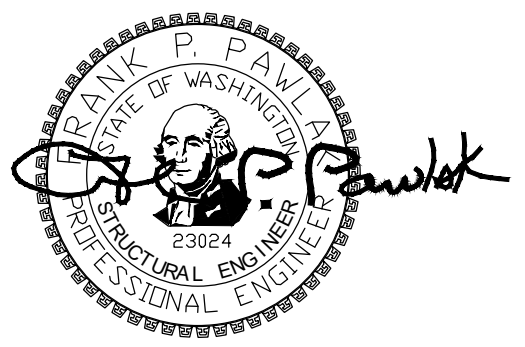
1ST FLOOR FRAMING PLAN

SHEET NO.

S2.2

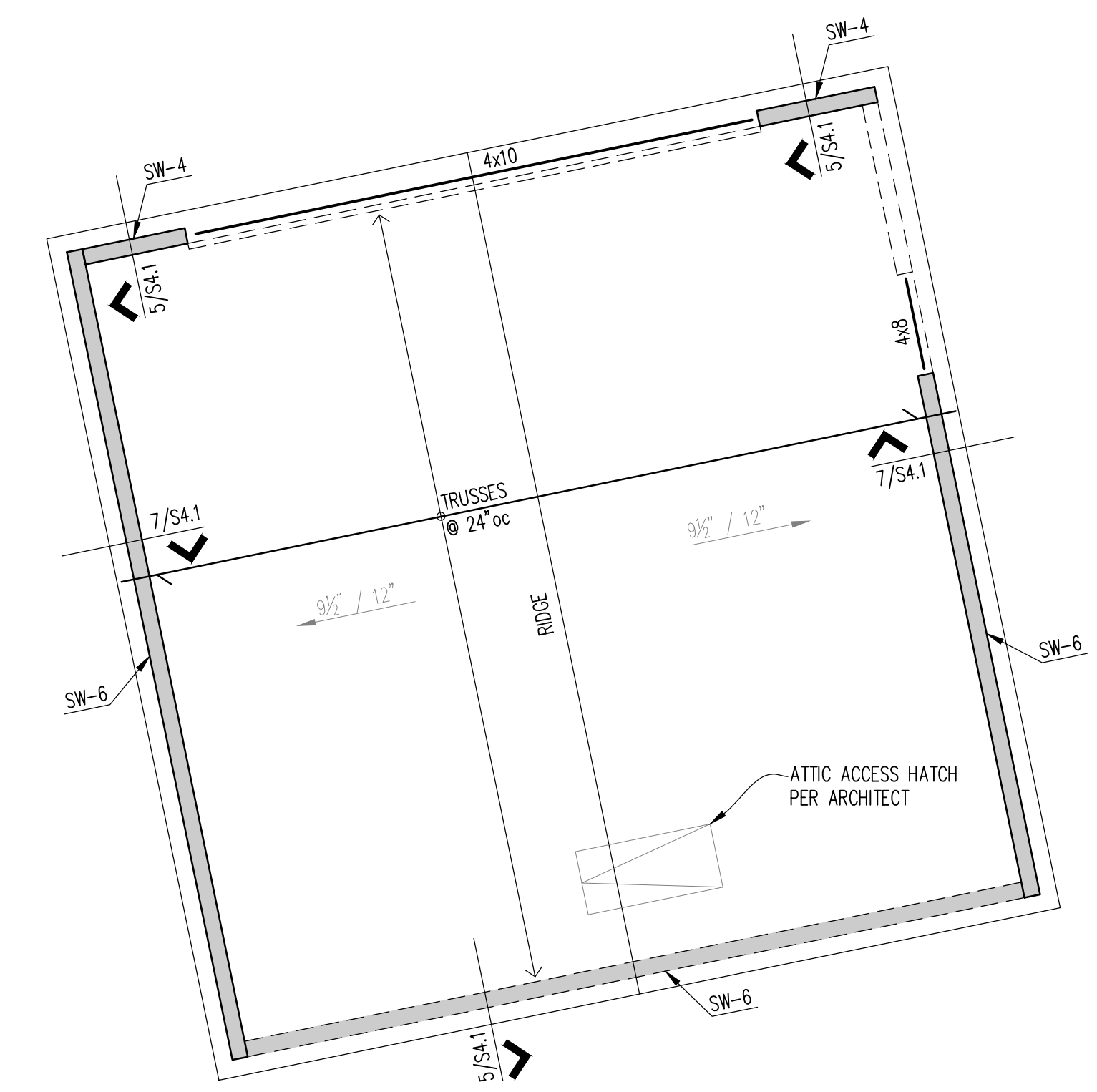
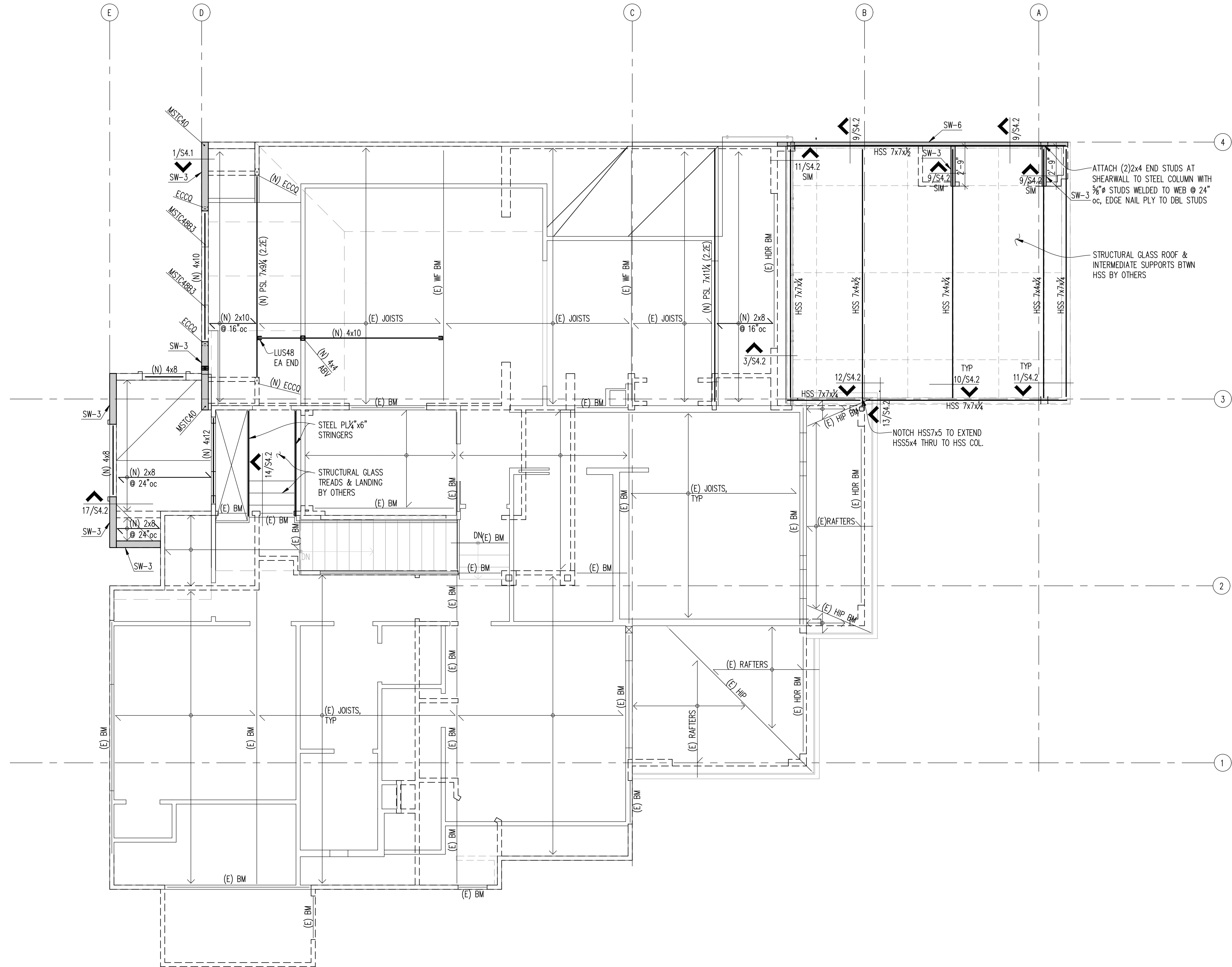


1ST FLOOR FRAMING PLAN



PROJECT

9820 SE 35TH PLACE
 ACHIN & MARY CHEN
 9820 SE 35TH PL
 MERCER ISLAND, WA 98040



- NOTES:
1. WALLS SHOWN IN HIDDEN ARE ON LEVEL BELOW (FIRST FLOOR). WALLS SHOWN IN SOLID ARE ON SECOND FLOOR.
 2. SEE ARCH FOR DIMENSIONS.
 3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS.
 4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
 5. ALL HEADERS TO BE 4x8, UNO ON PLANS.
 6. SW-X INDICATES SHEAR WALL TYPE. SEE 9/S4.1 FOR SW SCHEDULE.
 7. INDICATES HOLDOWN TYPE. SEE 10/S4.1 FOR HOLDOWN SCHEDULE.
 8. INDICATES SHEAR WALLS.
 9. INDICATES INTERMEDIATE BEARING POINT.

NO.	DATE	DESCRIPTION
11-4-20	PERMIT	
4/2/21	PERMIT RESPONSE	

11/4/20	20-129
DATE	JOB #
AM	FPP
DESIGN	CHECKED
LMS	AS NOTED
DRAWN	SCALE

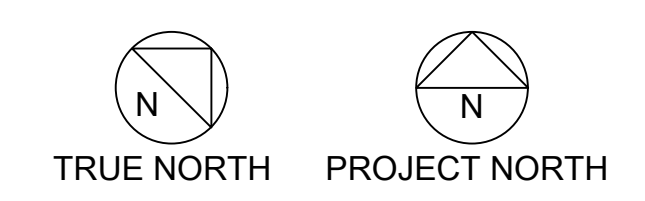
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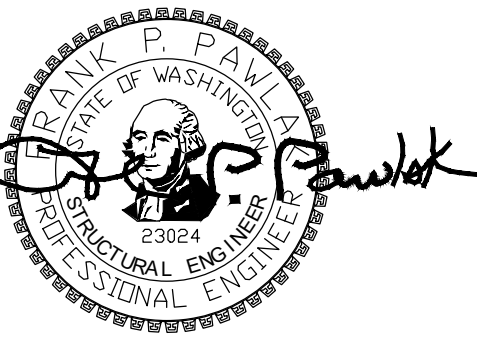
SHEET TITLE

2ND FLOOR FRAMING PLAN

SHEET NO.

S2.3





PROJECT

9820 SE 35TH PLACE
 ACHIN & MARY CHEN
 9820 SE 35TH PL
 MERCER ISLAND, WA 98040

REVISIONS

NO.	DATE	DESCRIPTION
	11-4-20	PERMIT
▲	4/2/21	PERMIT RESPONSE

11/4/20	20-129
DATE	JOB #
AM	FPP
DESIGN	CHECKED
LMS	AS NOTED
DRAWN	SCALE

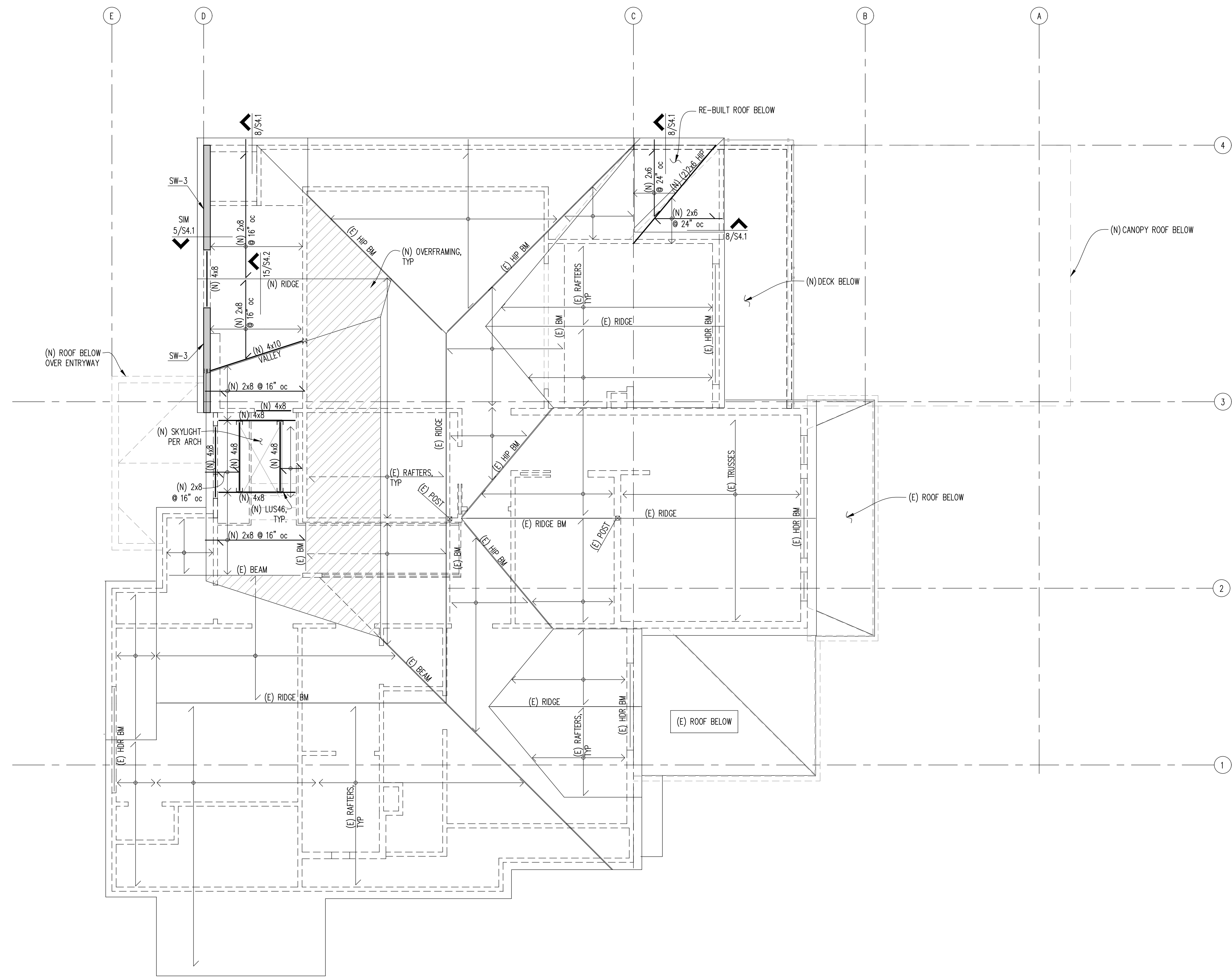
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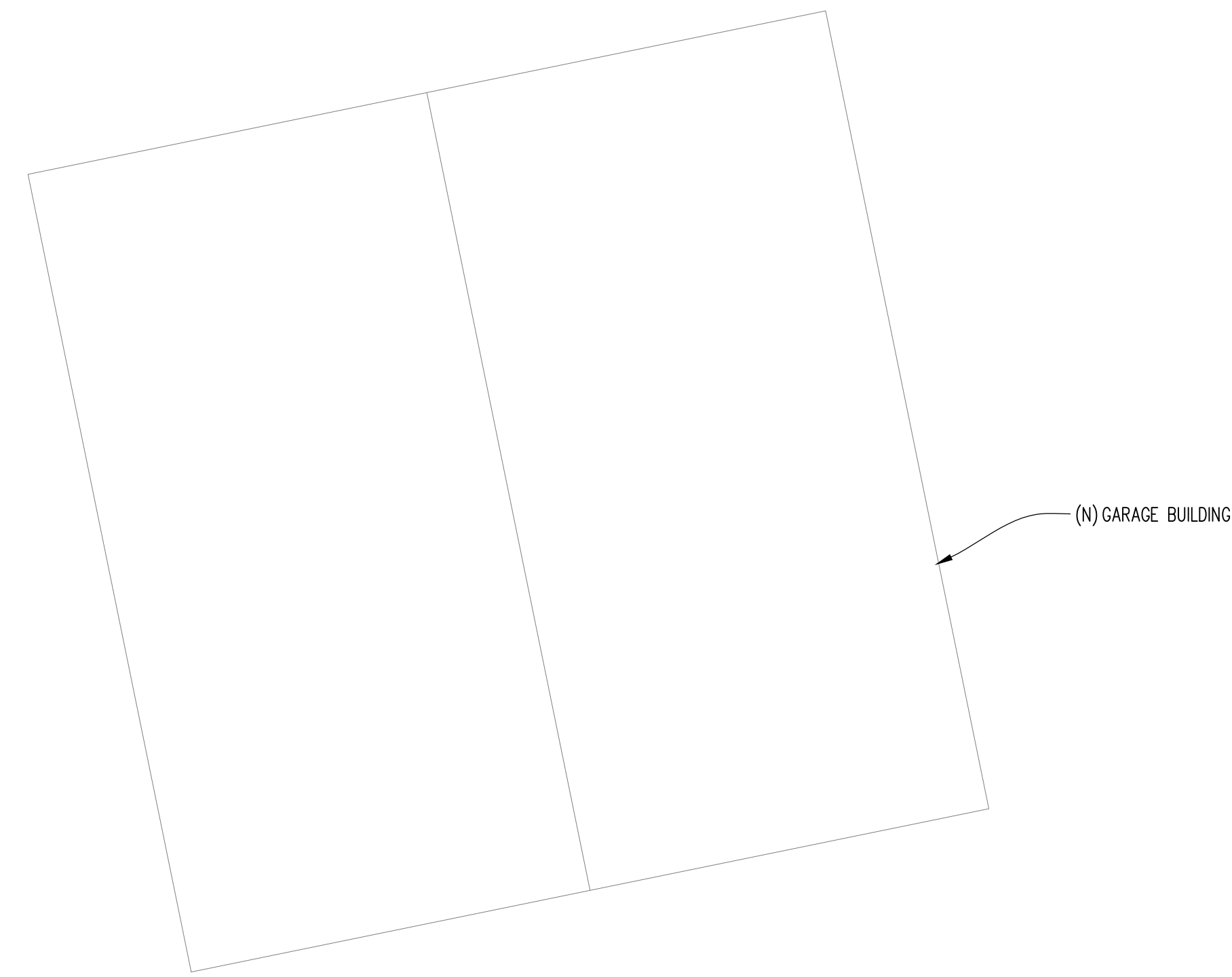
ROOF
 FRAMING
 PLAN

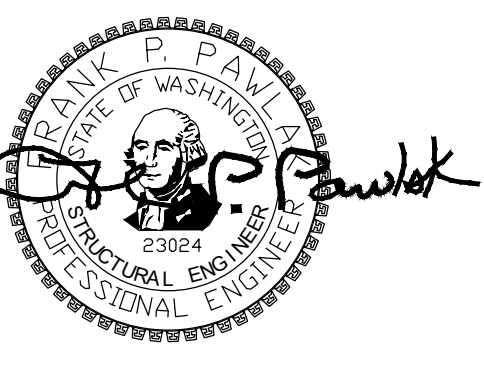
SHEET NO.

S2.4



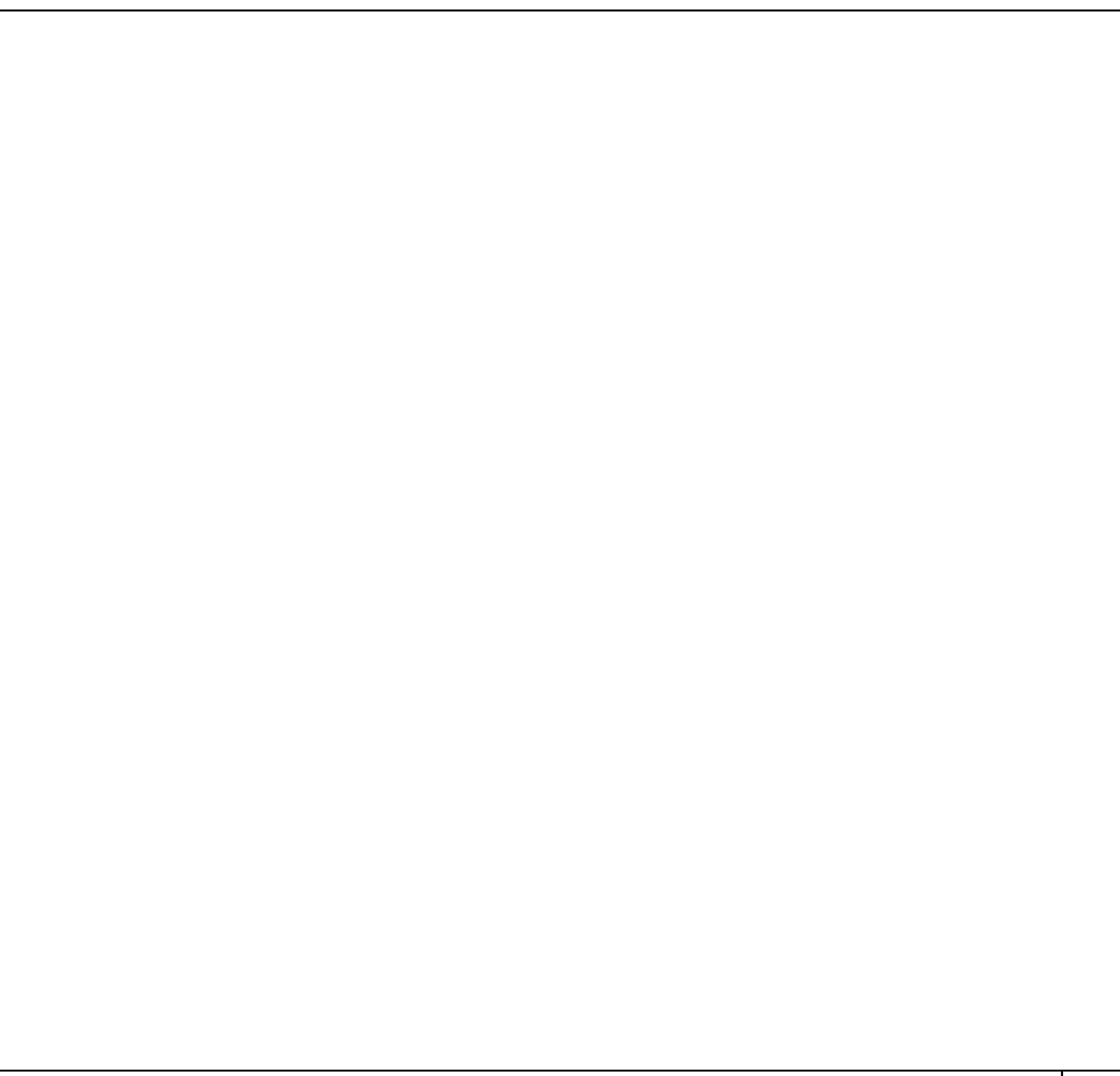
- NOTES:
1. WALLS SHOWN ARE ON LEVEL BELOW (SECOND FLOOR).
 2. SEE ARCH FOR DIMENSIONS.
 3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS.
 4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
 5. ALL HEADERS TO BE 4x8, UNO ON PLANS.
 6. SW-X INDICATES SHEAR WALL TYPE, SEE 9/S4.1 FOR SW SCHEDULE.
 7. ■ INDICATES SHEAR WALLS.
 8. ▶ INDICATES INTERMEDIATE BEARING POINT.





PROJECT

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PL
MERCER ISLAND, WA 98040

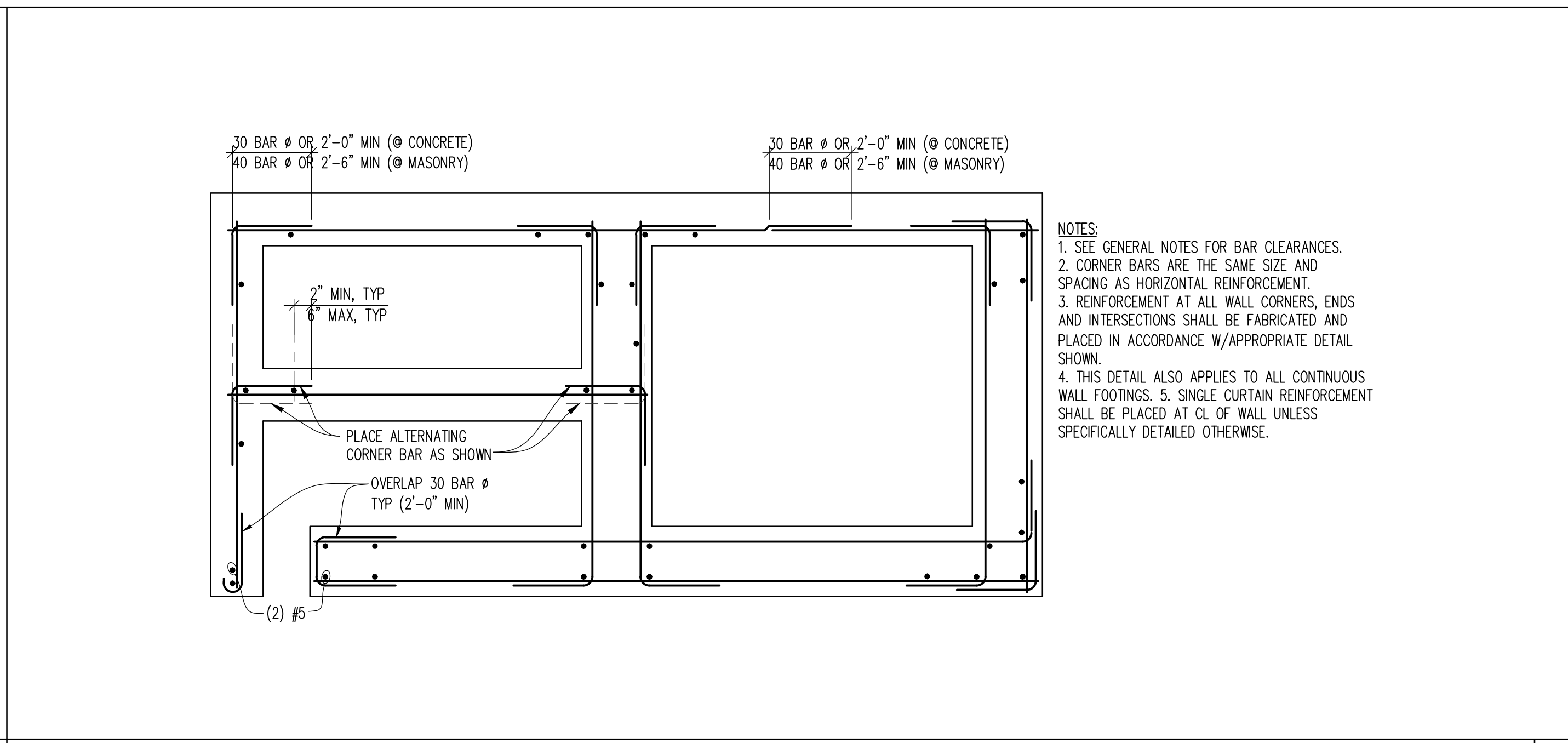


17

DETAIL

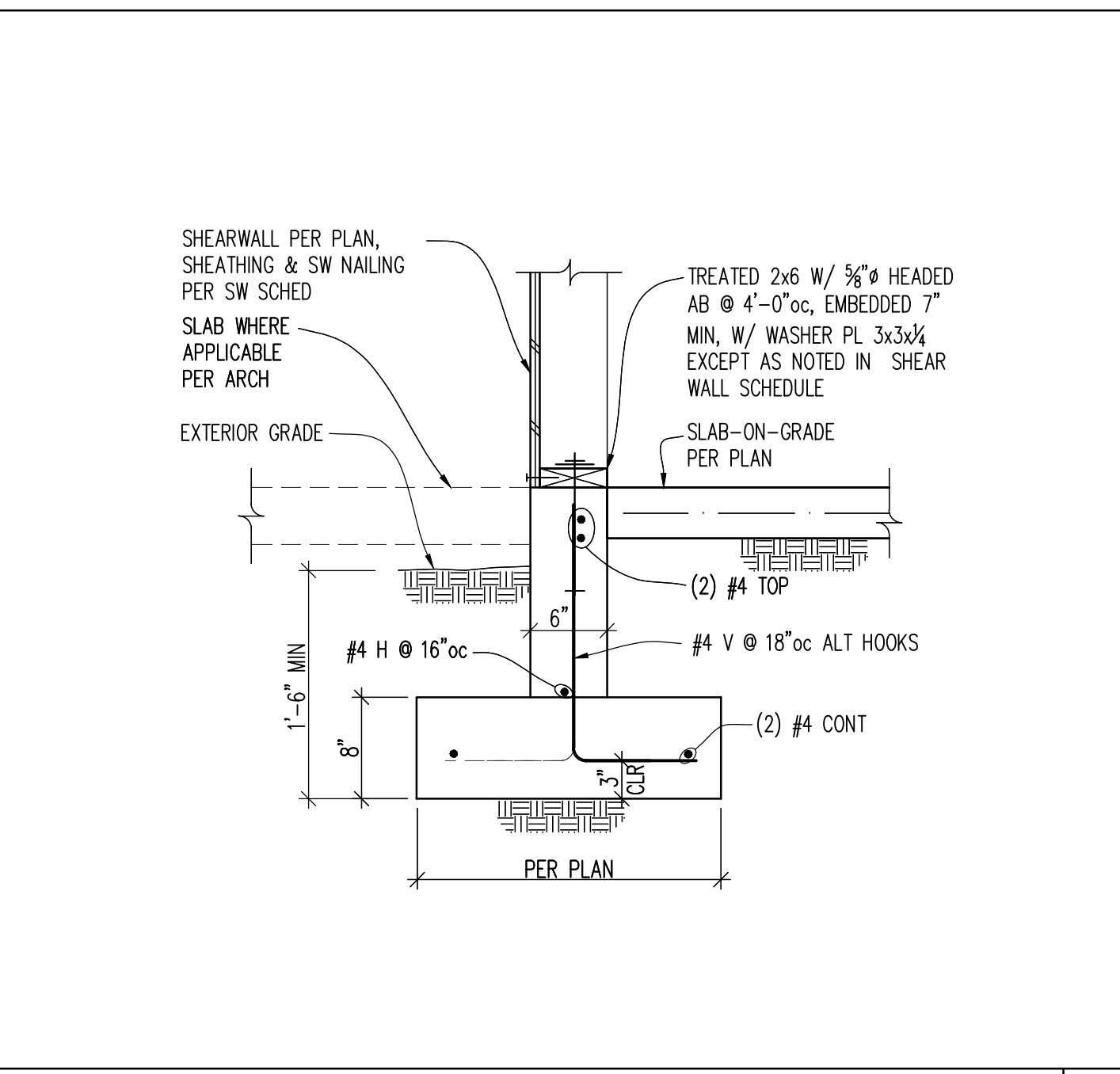
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13



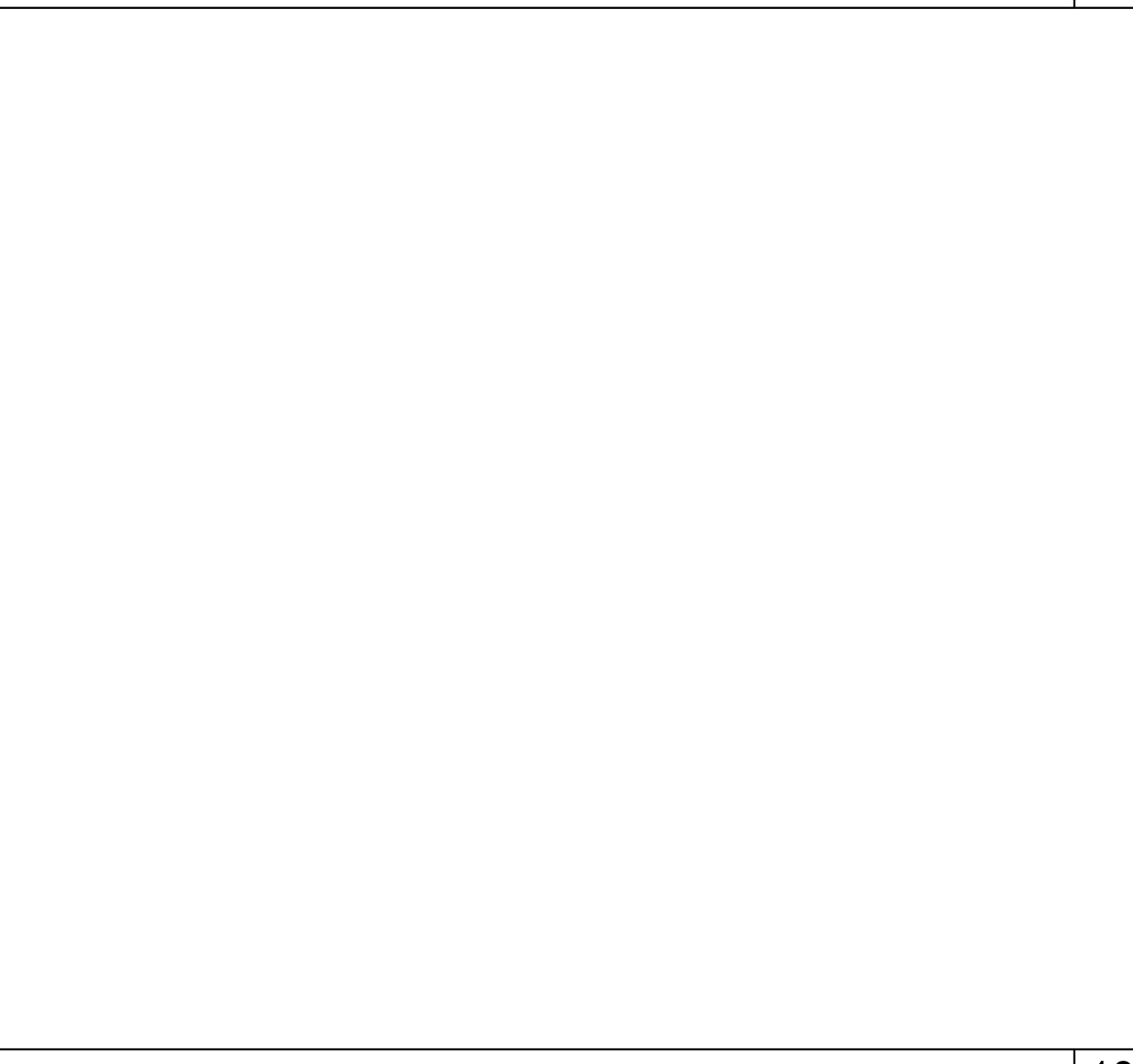
TYPICAL HORIZONTAL REINFORCING PLACING DETAIL FOR CONCRETE

5



EXTERIOR WALL FOOTING

1

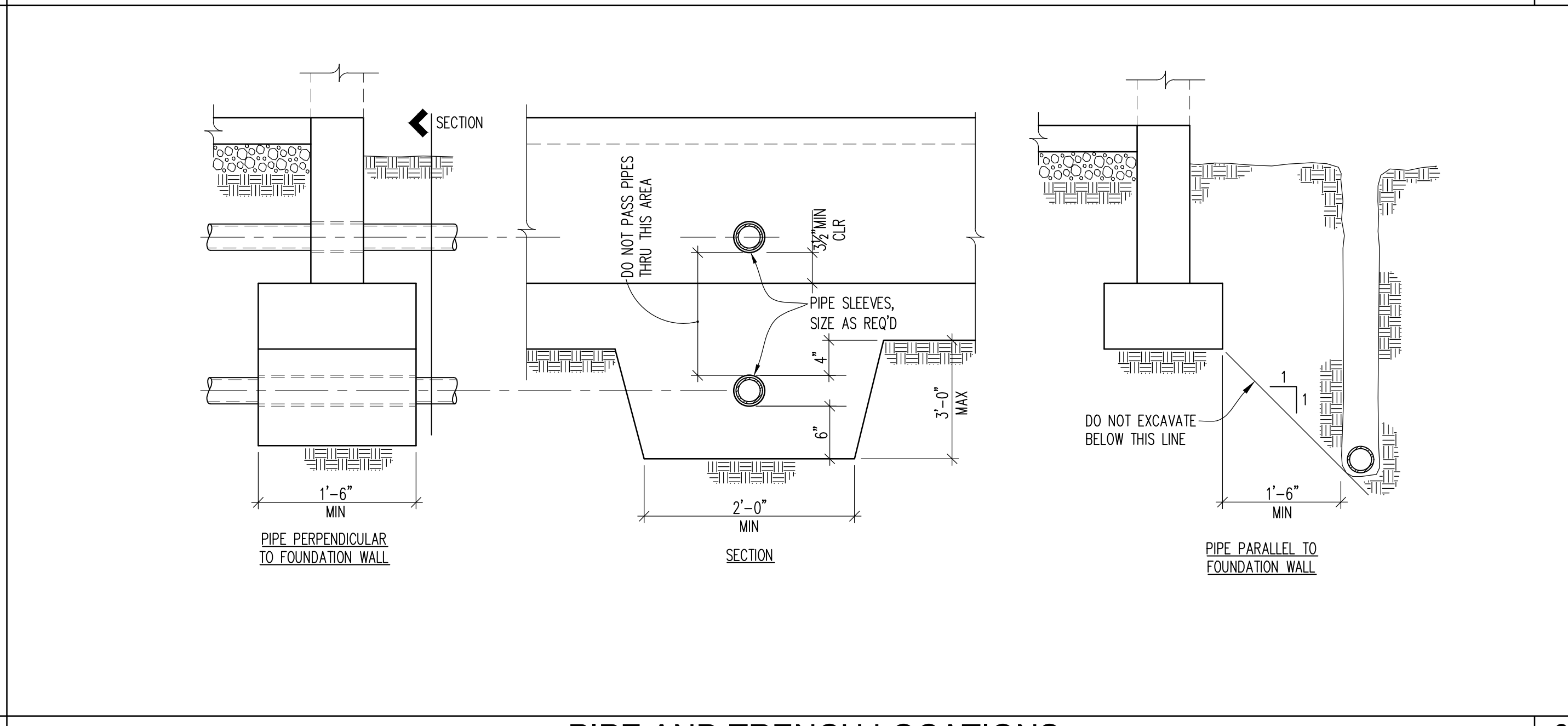


18

DETAIL

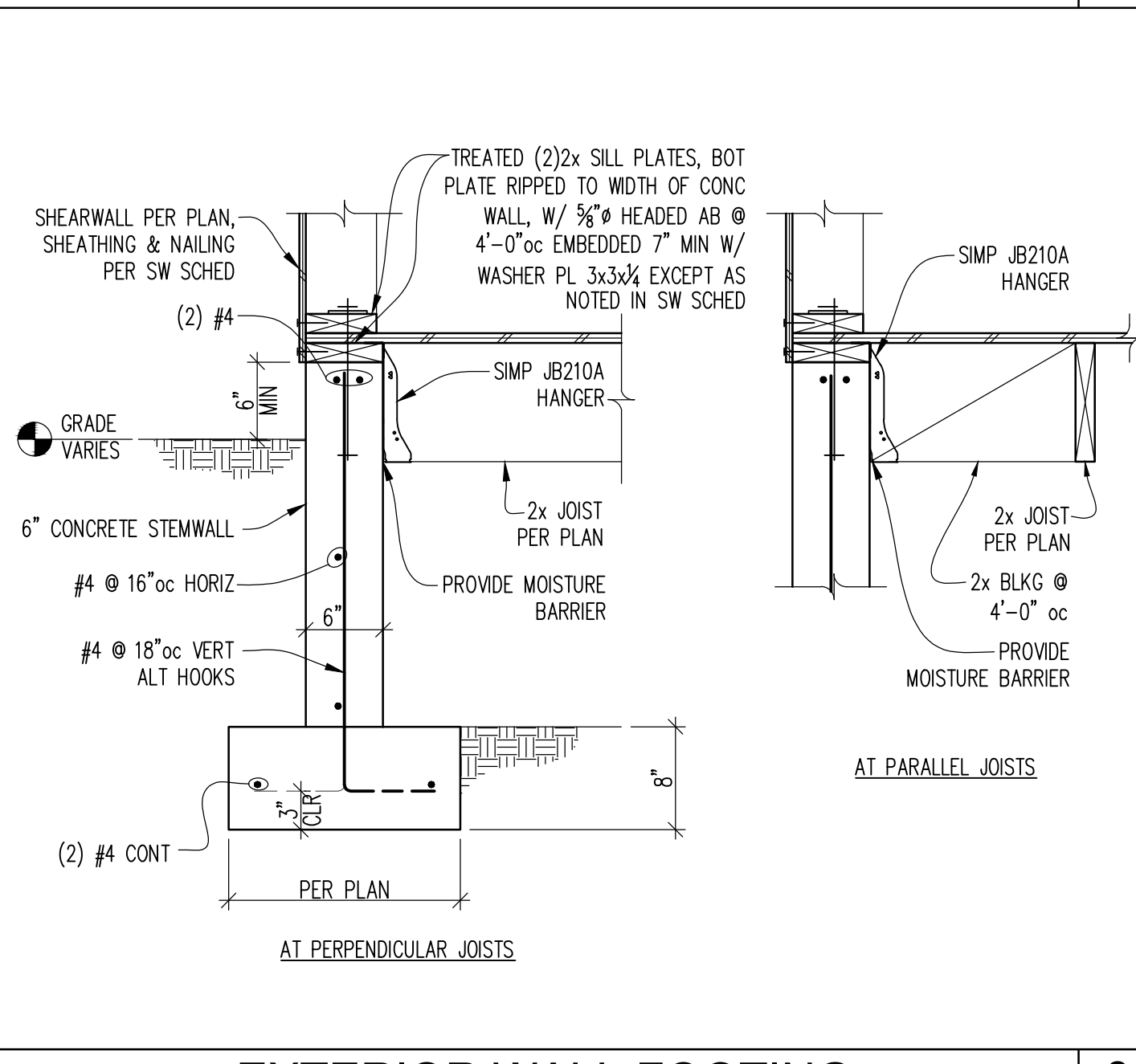
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14



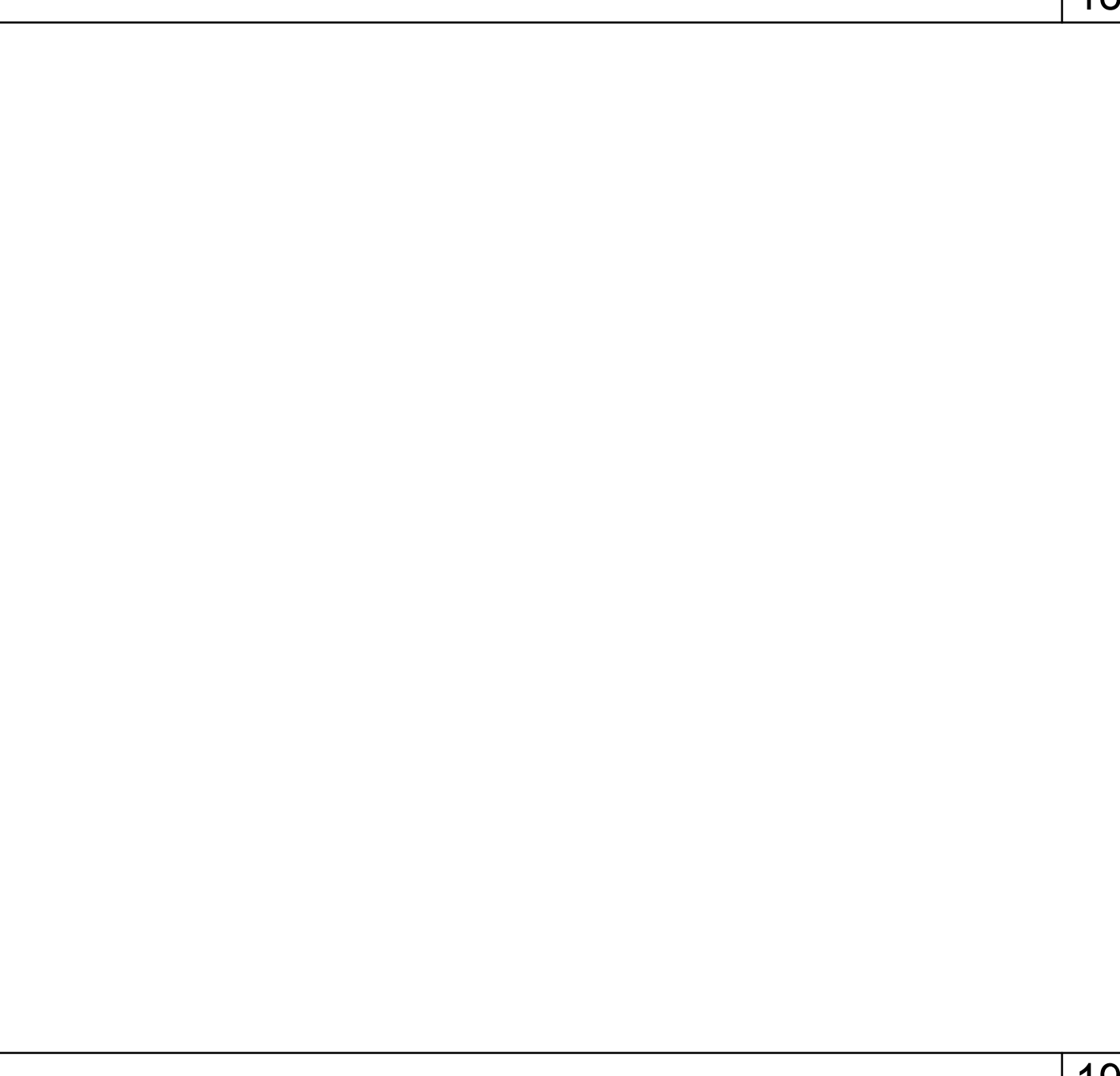
PIPE AND TRENCH LOCATIONS

6



EXTERIOR WALL FOOTING

2

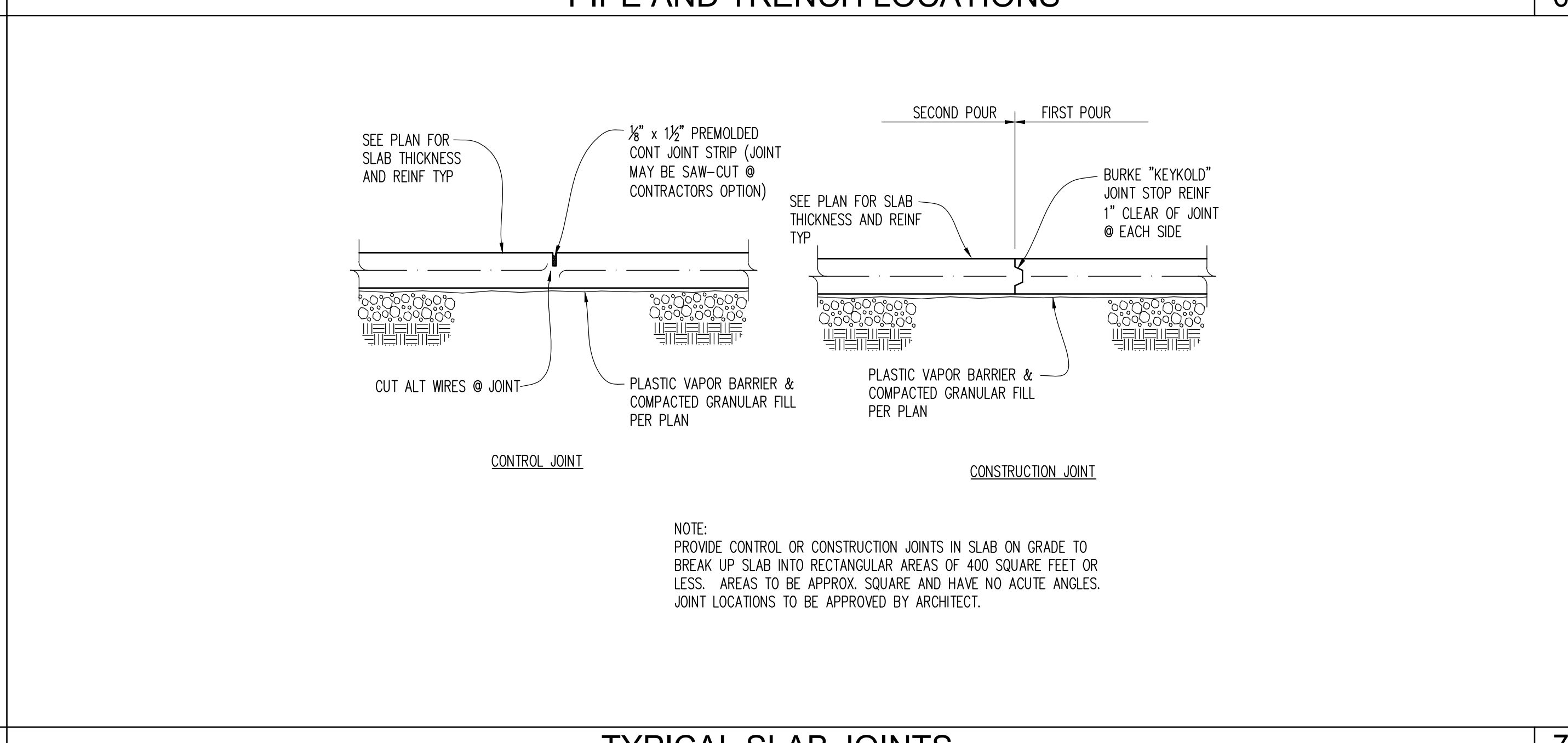


19

DETAIL

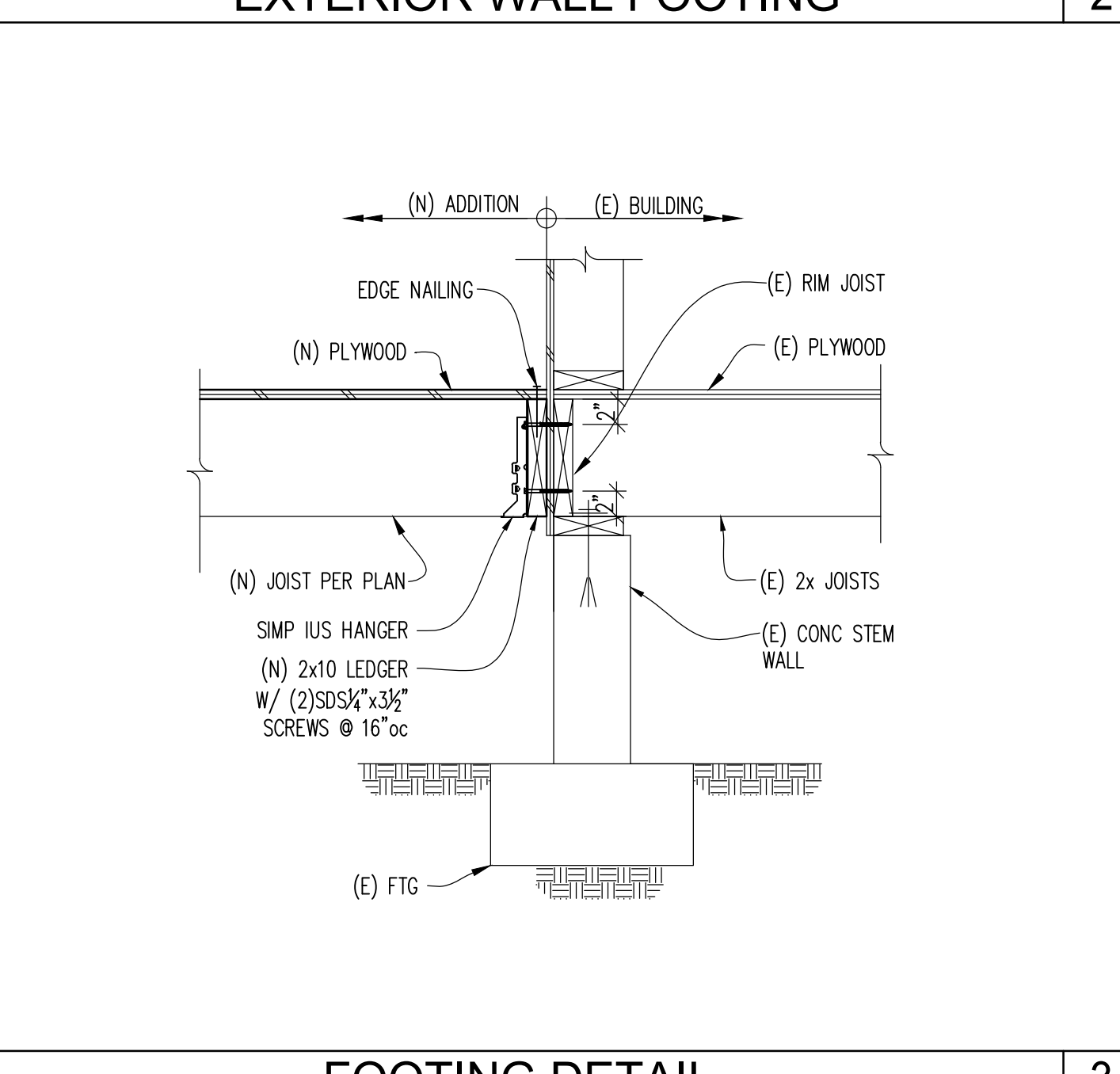
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15



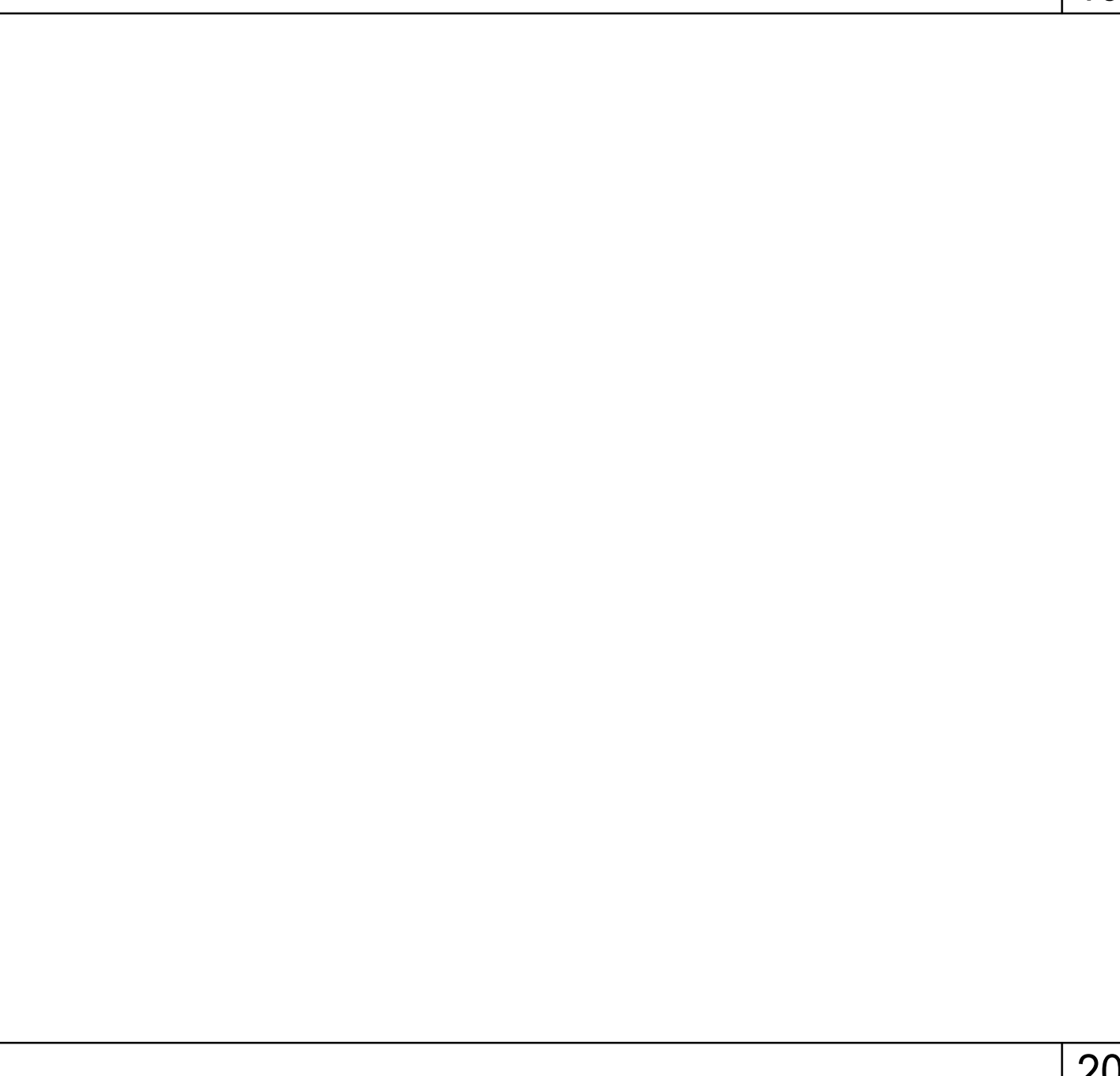
TYPICAL SLAB JOINTS

7



FOOTING DETAIL

3

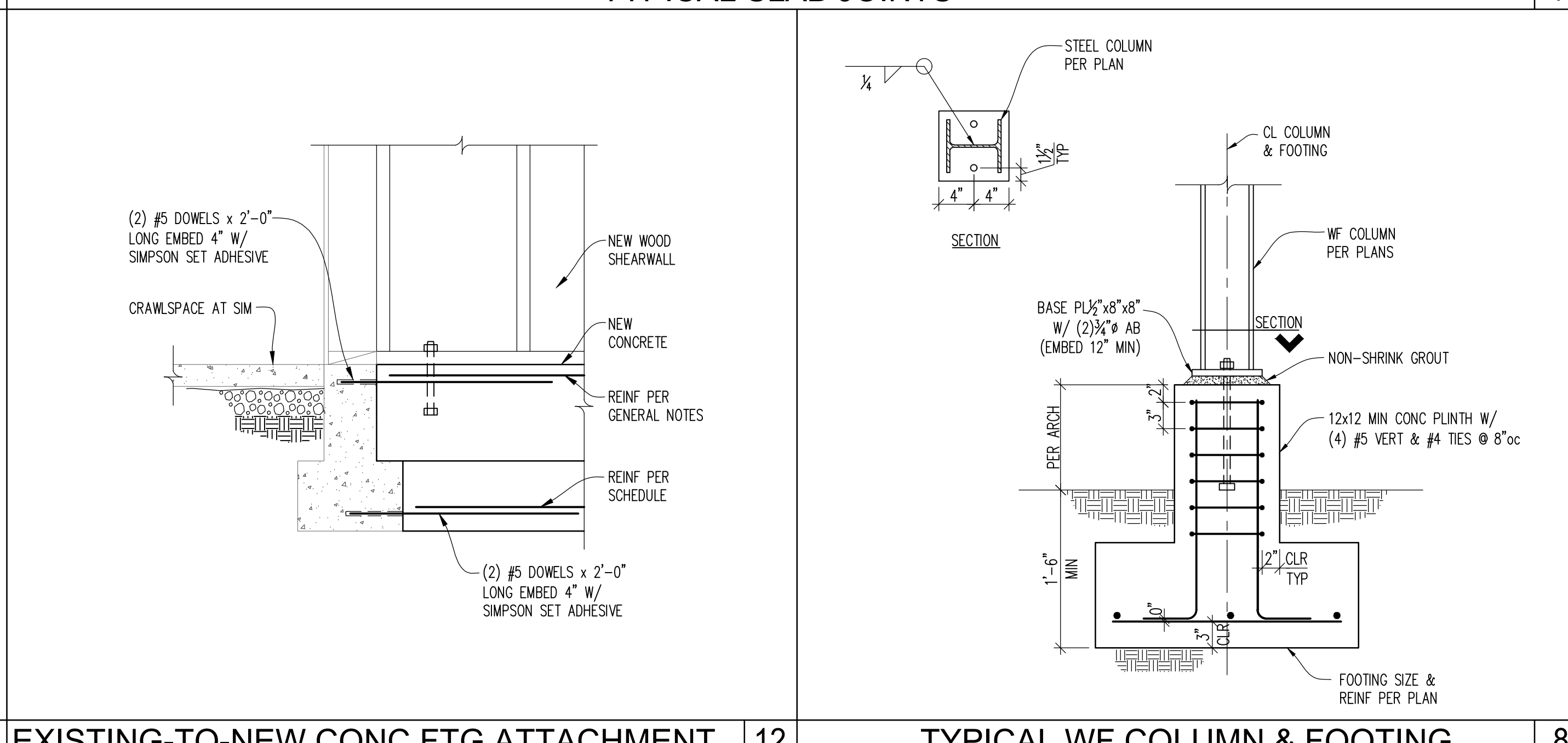


20

DETAIL

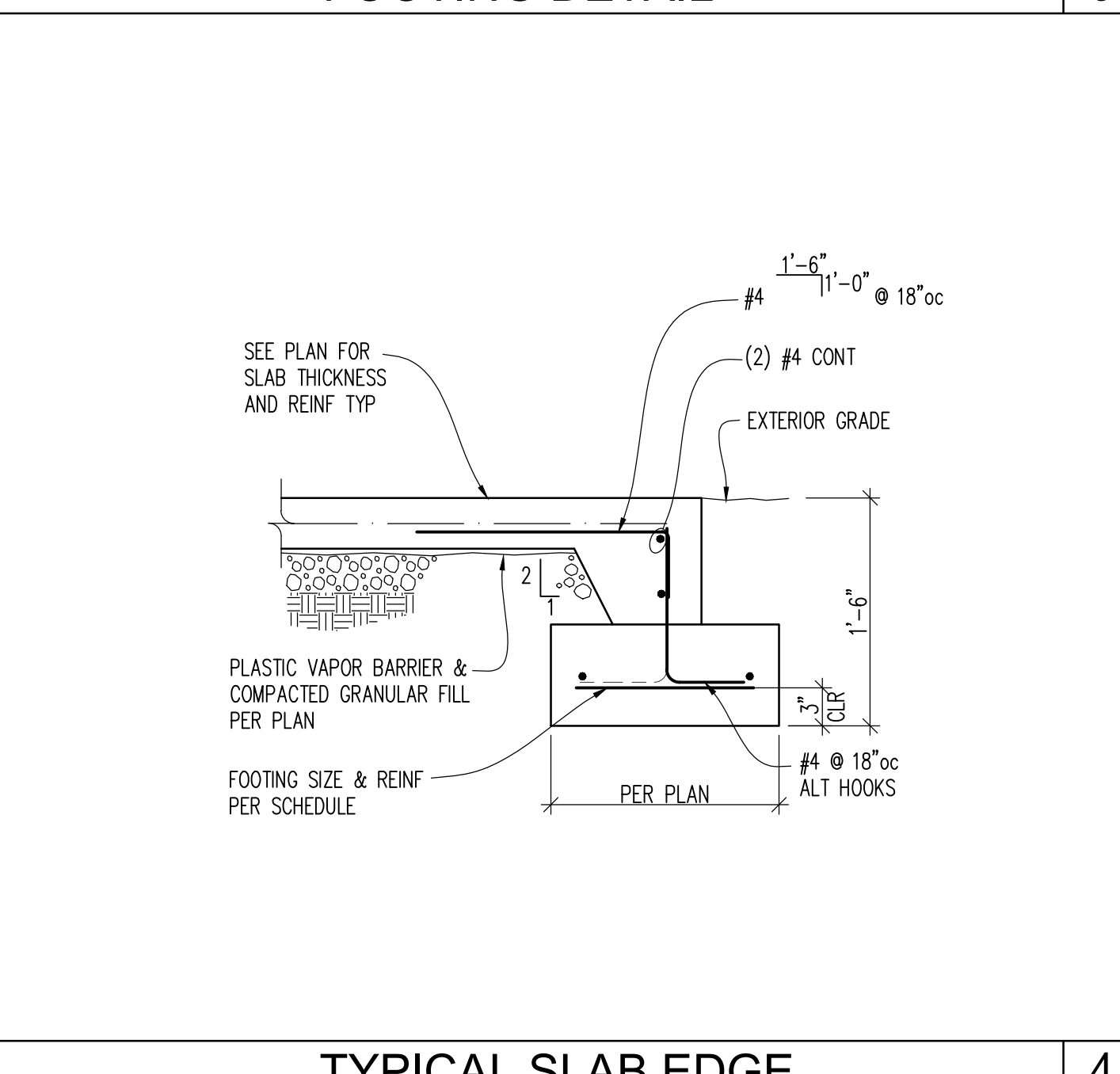
1"=1'-0"

16



TYPICAL WF COLUMN & FOOTING

8



TYPICAL SLAB EDGE

4

REVISIONS	
NO.	DATE
11-4-20	PERMIT
4/2/21	PERMIT RESPONSE
11/4/20	20-129
DATE	JOB #
AM	FPP
DESIGN	CHECKED
LMS	AS NOTED
DRAWN	SCALE

SDCI STAMP

SHEET TITLE

CONCRETE
DETAILS

SHEET NO.

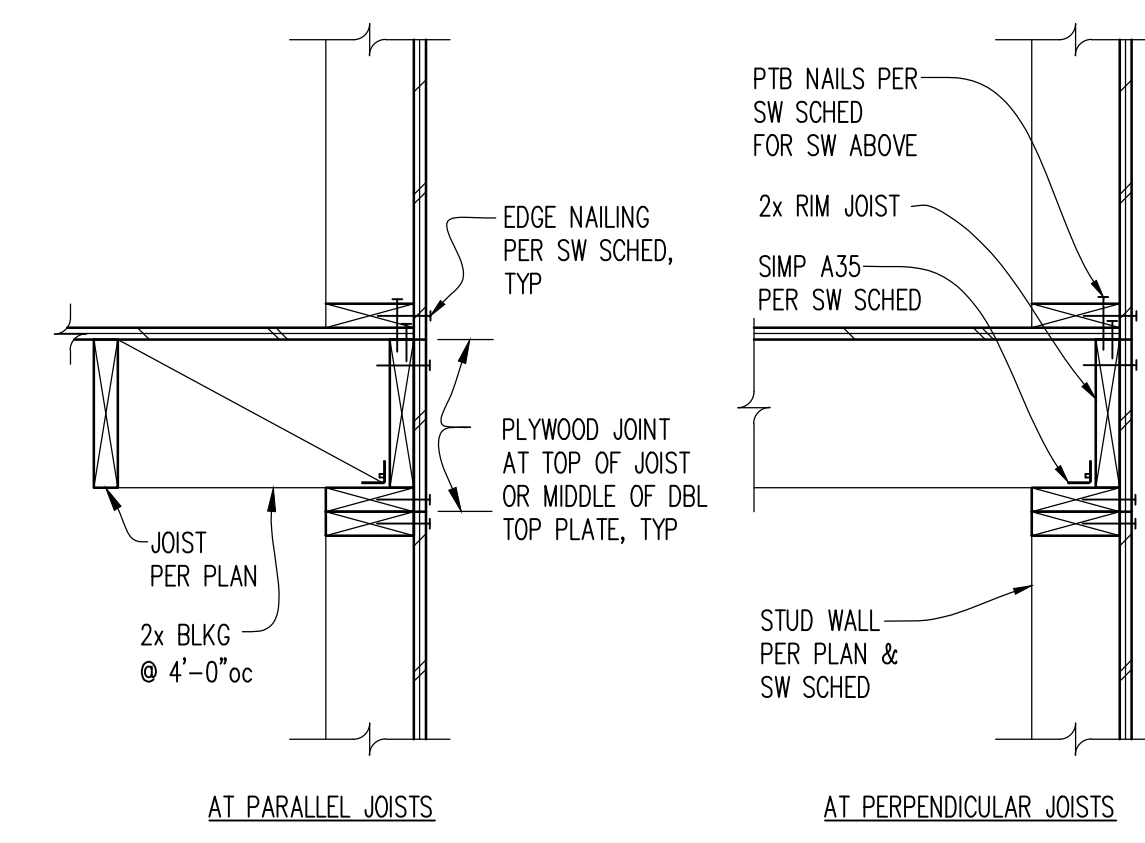
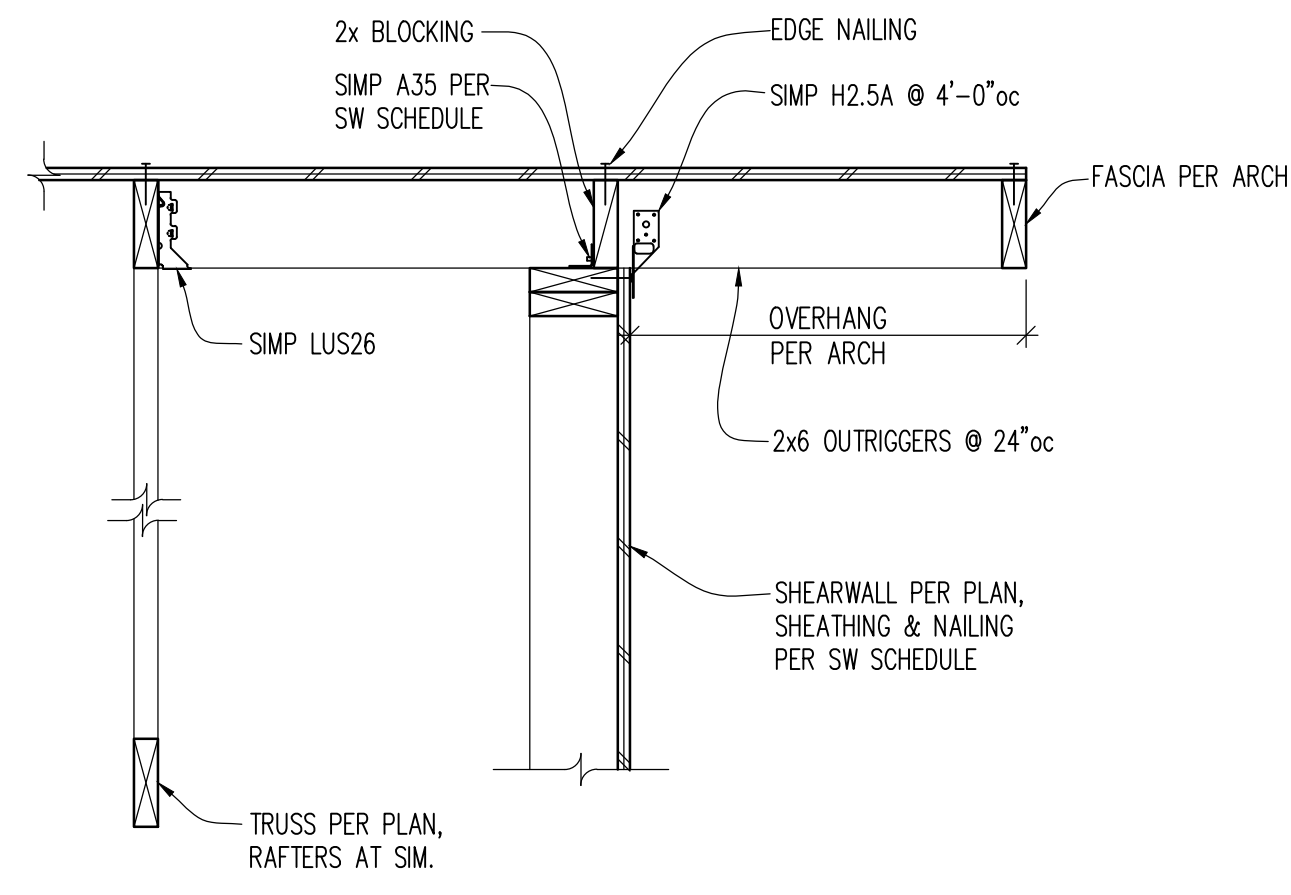
S3.1

SHEAR WALL SCHEDULE (HEM FIR LUMBER WITH 8d NAILS)

MARK	SHEATHING (NOTES 1,2,3,4,9)	RIM/BLKG TO WALL TOP PLATE (NOTE 6)	WALL BOTTOM PLATE TO RIM/BLKG ATTACHMENT * (NOTE 6.1)	16d NAILS SOWS 0.220"x5"	3/8" ANCHOR BOLTS TO CONCRETE (NOTES 9,10)	MIN PANEL EDGE STUDS & BLOCKING (NOTE 8)	FASTENING ALTERNATIVE (2)2x TOGETHER (NOTE 14)	ALLOWABLE SHEAR CAPACITY (PLF)(NOTE 8)
SW-6	ONE SIDE 8d @ 6"oc	LTP4 @ 24"oc	11"oc	21"oc	48"oc	2x	N/A	242
SW-4	ONE SIDE 8d @ 4"oc	LTP4 @ 22"oc	7"oc	15"oc	46"oc	3x	5 1/2"oc	353
SW-3	ONE SIDE 8d @ 3"oc	LTP4 @ 16"oc	5"oc	11"oc	36"oc	3x	4"oc	456
SW-2	ONE SIDE 8d @ 2"oc	LTP4 @ 13"oc	4"oc	8"oc	27"oc	3x	(2) @ 6 1/2"oc	595
SW-44	BOTH SIDES (NOTE 7)	LTP4 @ 11"oc	N/A	7"oc	23"oc	3x	(2) @ 5 1/2"oc	706
SW-33	BOTH SIDES (NOTE 7)	LTP4 @ 8"oc	N/A	7"oc **	18"oc	3x	(2) @ 4"oc	912
SW-22	BOTH SIDES (NOTE 7)	LTP4 @ 6"oc	N/A	5 1/2"oc **	13"oc	3x	(2) @ 3"oc ***	1190

* A35 OR LTP4 CAN BE USED ALTERNATIVELY
 ** USE MIN 2x OF RIM BOARD AT THESE SHEARWALLS
 *** FASTENERS SHALL BE STAGGERED

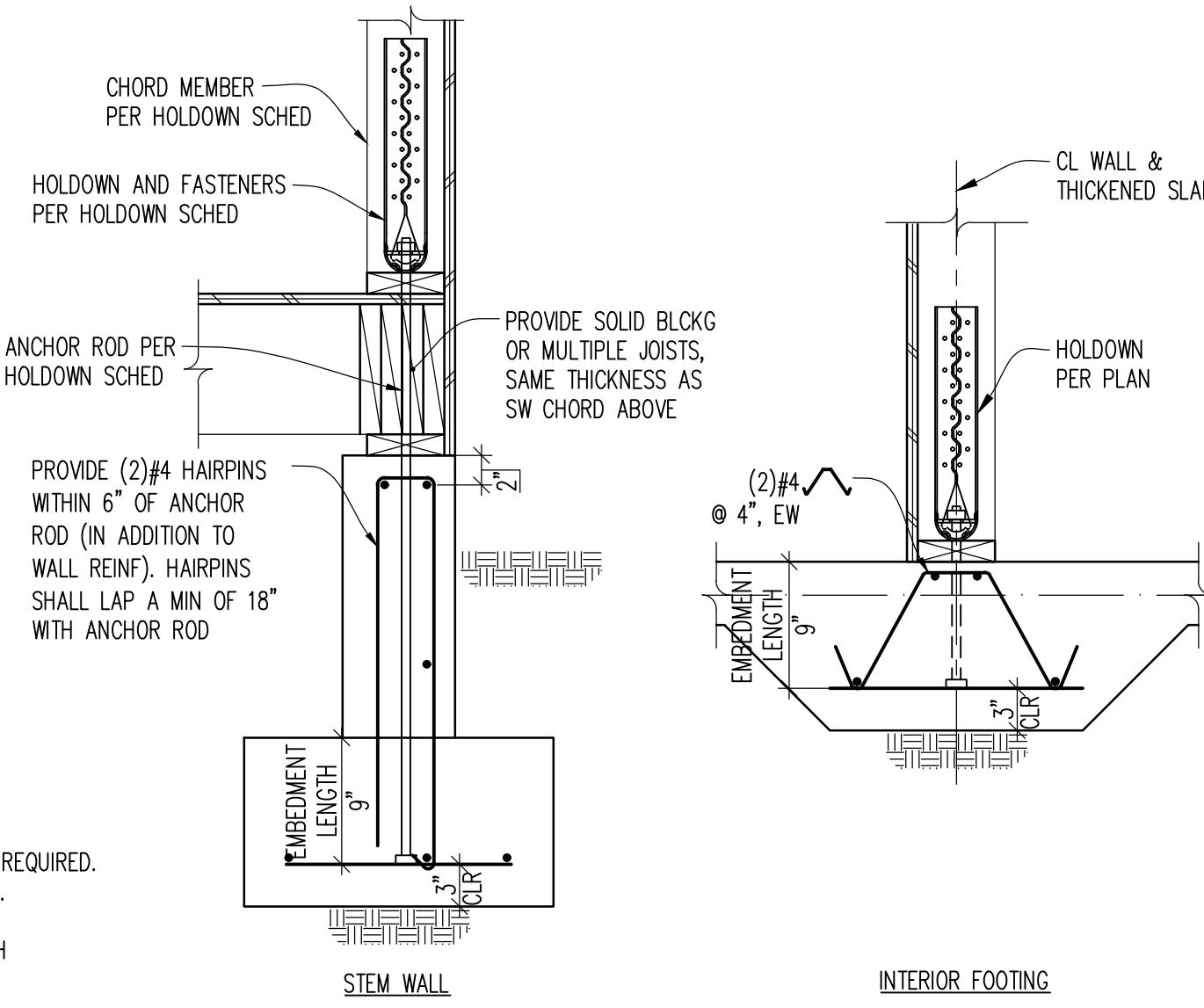
- NOTES:
- SHEATHING SHALL BE 1/2" OR 5/8" PLY, TYP. UNO. OSB SHALL NOT BE SUBSTITUTED FOR PLYWOOD. SHEATHING SHALL HAVE A MINIMUM SPAN RATING OF 24/0.
 - SHEATHING SHALL BE APPLIED DIRECTLY TO FRAMING.
 - PROVIDE SOLID BLOCKING AT ALL SHEATHING-PANEL EDGES.
 - PROVIDE 8d @ 12"oc AT ALL INTERMEDIATE SUPPORTS (FIELD NAIL), TYP. UNO.
 - NAILS PER GENERAL STRUCTURAL NOTES.
 - LATERAL TIE PLATES OR WALL PLATE TO BLOCKING NAILING IS REQUIRED WHERE SHEATHING IS DISCONTINUOUS, I.E. WHERE ADJACENT SHEATHING EDGES ARE NOT NAILED TO THE SAME PIECE OF FRAMING. TIE NAILING IS NOT PERMITTED. LATERAL TIE PLATES MAY BE SUBSTITUTED FOR WALL PLATE TO BLOCKING NAILING. INSTALL LATERAL TIE PLATES OVER APA RATED SHEATHING PANELS. USE COMMON NAILS OR EQUIVALENT NAILS SUPPLIED BY CONNECTOR MANUFACTURER FOR LATERAL TIE PLATES. A35 FRAMING ANCHORS MAY BE SUBSTITUTED FOR LATERAL TIE PLATES AT SPACING SHOWN IN TABLE.
 - WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, STAGGER PLYWOOD JOINTS SO THAT JOINTS ON EACH SIDE OF THE WALL DO NOT OCCUR AT THE SAME STUD. PROVIDE 3x BLOCKING FOR ALL DOUBLE SHEATHED WALLS.
 - PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLANS. ENDS OF WALLS ARE DESIGNATED BY EXTERIOR OF BUILDING, CORRIDORS, OR DOORWAYS. PROVIDE HOLD-DOWNS PER PLANS AT EACH END OF WALL, UNO. PROVIDE EDGE NAILING TO STUD(S) GRIPPED BY HOLD-DOWN.
 - CRITERIA: 2012 IBC
 - HEM FIR LUMBER
 2500 psi CONCRETE MINIMUM
 ASTM A307 ANCHOR BOLTS WITH 2 1/2" EDGE DISTANCE IN CONCRETE AND 7" MINIMUM EMBEDMENT
 - INSTALL 3x3/4" PL WASHERS AT ALL ANCHOR BOLTS, BETWEEN THE NUT AND THE SILL PLATE. USE 4 1/2"x4 1/2"x3/4" PL WASHERS WHERE 2x6 STUD WALLS ARE SHEATHED ON BOTH SIDES. ALL PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING.
 - AT SHEARWALLS WHERE SHEATHING MAY EXTEND VERTICALLY TO OVERLAP WITH RIMBOARD/BLOCKING ABOVE, IT IS ACCEPTABLE TO NAIL SHEATHING TO RIMBOARD/BLOCKING WITH EDGE NAILING AS SPECIFIED IN TABLE ABOVE AND ELIMINATE THE A35 CLIPS BETWEEN THE RIMBOARD/BLOCKING AND WALL TOP PLATE.
 - FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE CORROSION RESISTANT.
 - 1 1/2" MIN LSL RIM BOARD AND SINGLE SILL PLATE ARE ASSUMED. IF RIM MATERIAL IS DIFFERENT, NOTIFY ENGINEER FOR REVISED SPACING. IF (2)2x SILL PLATES ARE USED, USE SOWS 0.220"x6" SCREWS. CONTRACTOR CAN SELECT EITHER NAILS OR SCREWS.
 - (2)2x STUDS AND SILL PLATES CAN BE USED INSTEAD OF 3x MEMBERS. (2)2x STUDS WILL NEED TO BE FASTENED TOGETHER WITH EITHER NAILS OR SCREWS AS CALLED OUT.



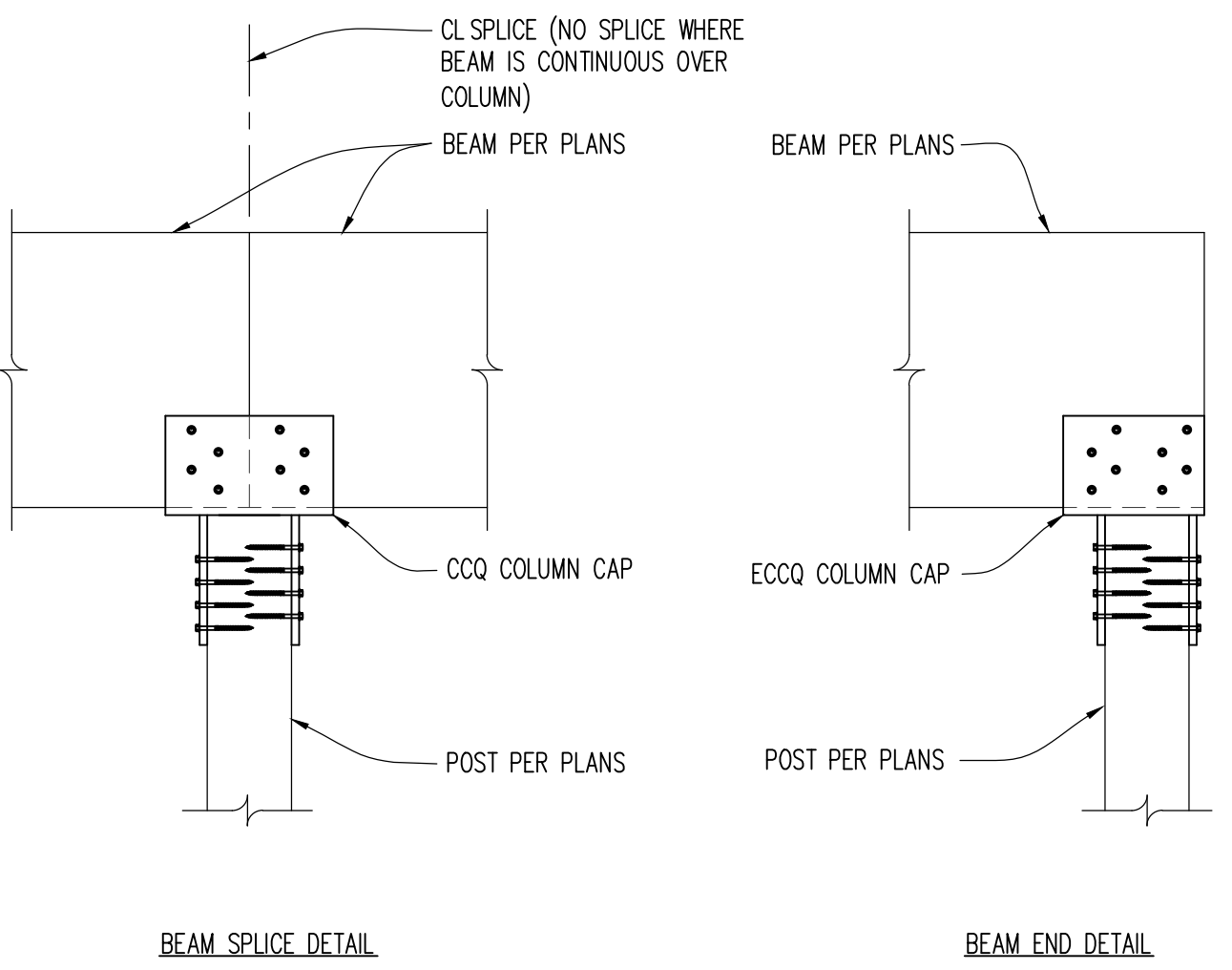
SHEAR WALL SCHEDULE (HEM FIR LUMBER)

MARK	FASTENERS TO CONCRETE		FASTENERS TO WOOD STUDS OR POSTS		CHORD MEMBER SEE NOTES 2 AND 4	ANCHOR ALLOWABLE LOAD (LBS)
	ANCHOR # SEE NOTES 1, 5, 6, 7	BOLTS	SOS 1/4" x 2 1/2" SCREWS	16d COMMON NAILS SEE NOTE 5		
MSTC28	3" x 16 GA	-	-	(16) 16d	(2) 2x STUDS	1,330
MSTC40	3" x 16 GA	-	-	(32) 16d	(2) 2x STUDS	2,655
MSTC52	3" x 16 GA	-	-	(48) 16d	(2) 2x STUDS	3,985
MSTC66	3" x 14 GA	-	-	(68) 16d	(2) 2x STUDS	5,850
HDU2	3/8"	-	6	-	(2) 2x STUDS	2,215
HDU4	3/8"	-	10	-	(2) 2x STUDS	3,285
HDU5	3/8"	-	14	-	(2) 2x STUDS	4,340
HDU8	1/2"	-	20	-	6x6 DF	7,870
HDU11	1"	-	30	-	6x6 DF	9,335
HDU14	1"	-	36	-	6x6 DF	14,445

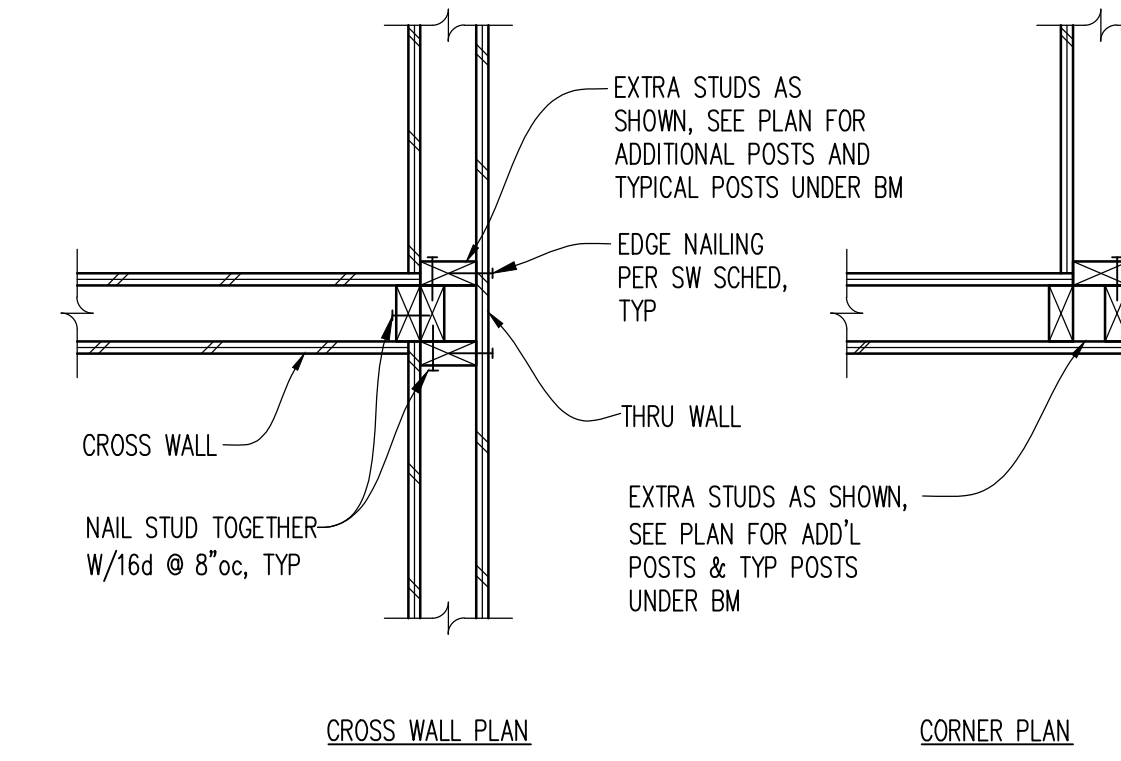
- NOTES:
- PROVIDE ASTM F1554 OR 36 HEAVY SQUARE HEAD ANCHORS FOR ALL HOLD-DOWNS.
 - WOOD MEMBERS (MIN), ABOVE AND BELOW WHERE STRAP OR HOLD-DOWN OCCURS AT FLOOR LEVEL.
 - HOLD-DOWN SCHEDULE IS PROVIDED FOR GENERAL INSTALLATION INFORMATION. NOT ALL HARDWARE SCHEDULED IS REQUIRED. SEE PLANS FOR HOLD-DOWN CALL-OUTS AND LOCATIONS. CONSULT MANUFACTURER FOR ADDITIONAL INFORMATION.
 - IF SHEAR WALL REQUIRES 3x STUDS, USE MIN (2) 3x STUDS INSTEAD OF (2) 2x STUDS.
 - QUANTITY OF NAILS FOR STRAPS ARE EVENLY DIVIDED BETWEEN ENDS OF STRAPS ABOVE AND BELOW THE DEPTH OF THE FLOOR SYSTEM. USE 16d COMMON NAILS.
 - WHERE HOLD DOWN OCCURS ATOP BEAM WITH NO STRUCTURE BELOW, SEE DETAIL 19/S4.1.
 - HOLD-DOWN DETAIL AT FLOOR-TO-FLOOR HOLD-DOWNS CONDITION PER 5/S4.2.
 - STRAP DETAIL AT FLOOR-TO-FLOOR STRAP CONDITION PER 8/S4.2.
 - IBC 2015, Fc = 2,500 PSI, HEM-FIR LUMBER.



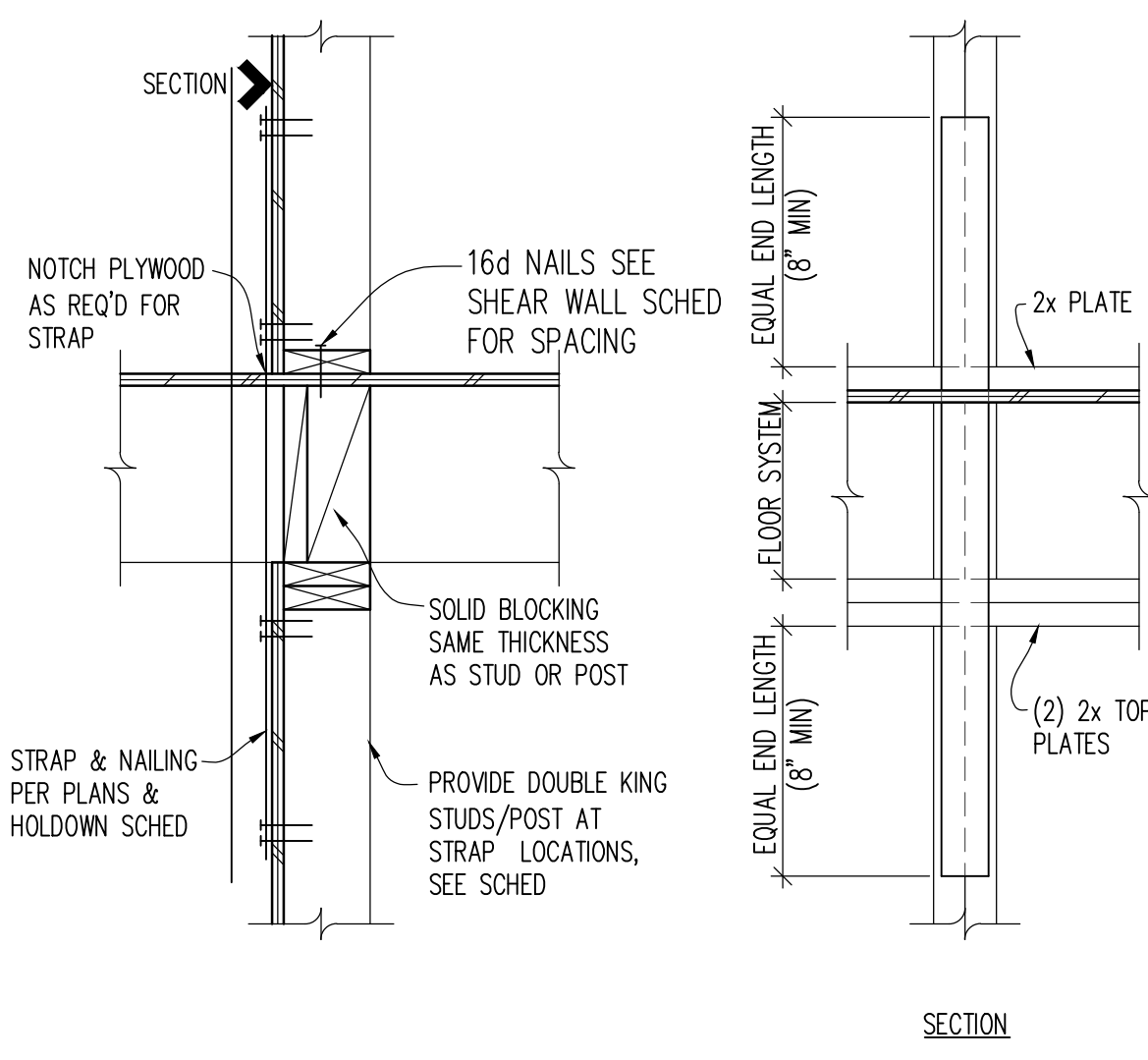
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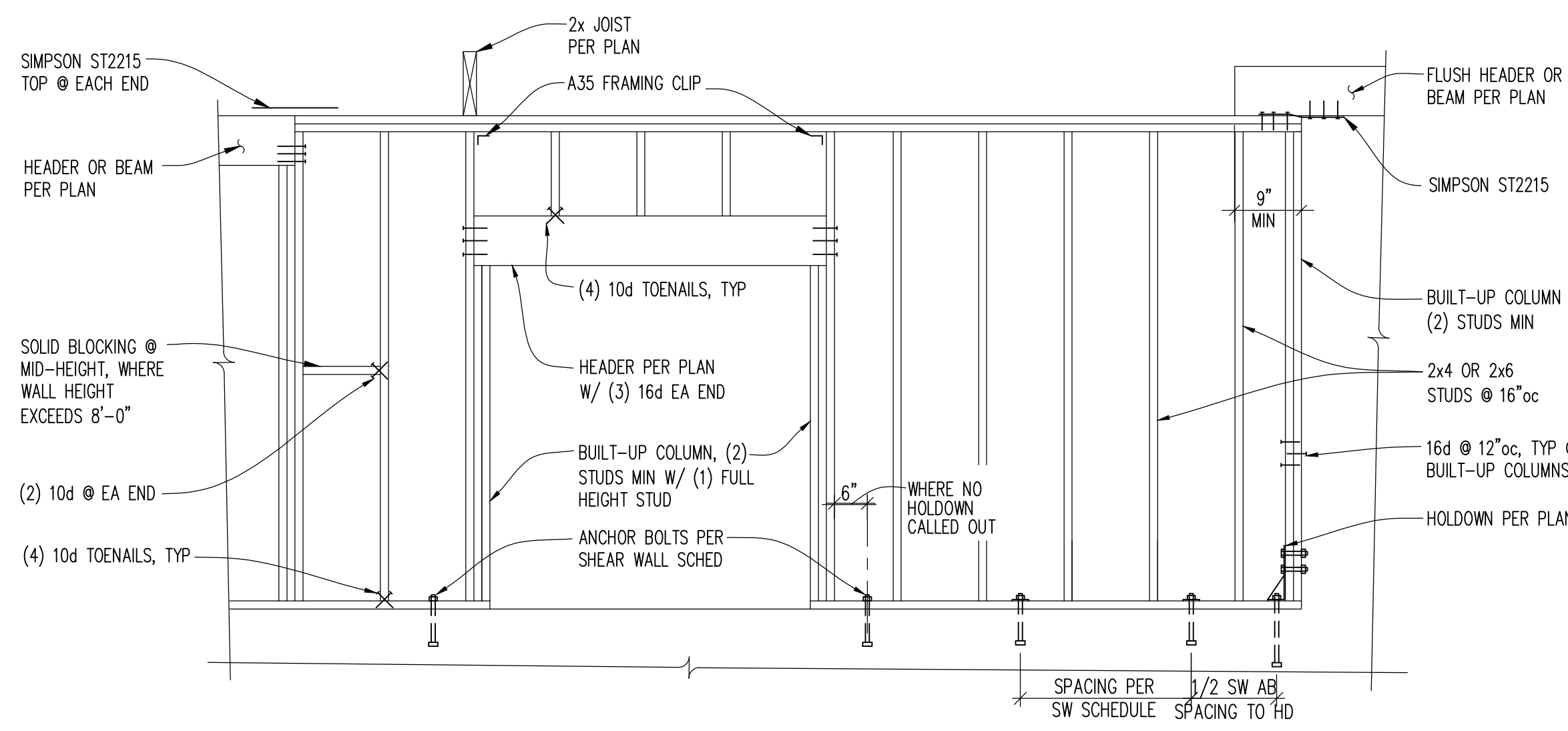
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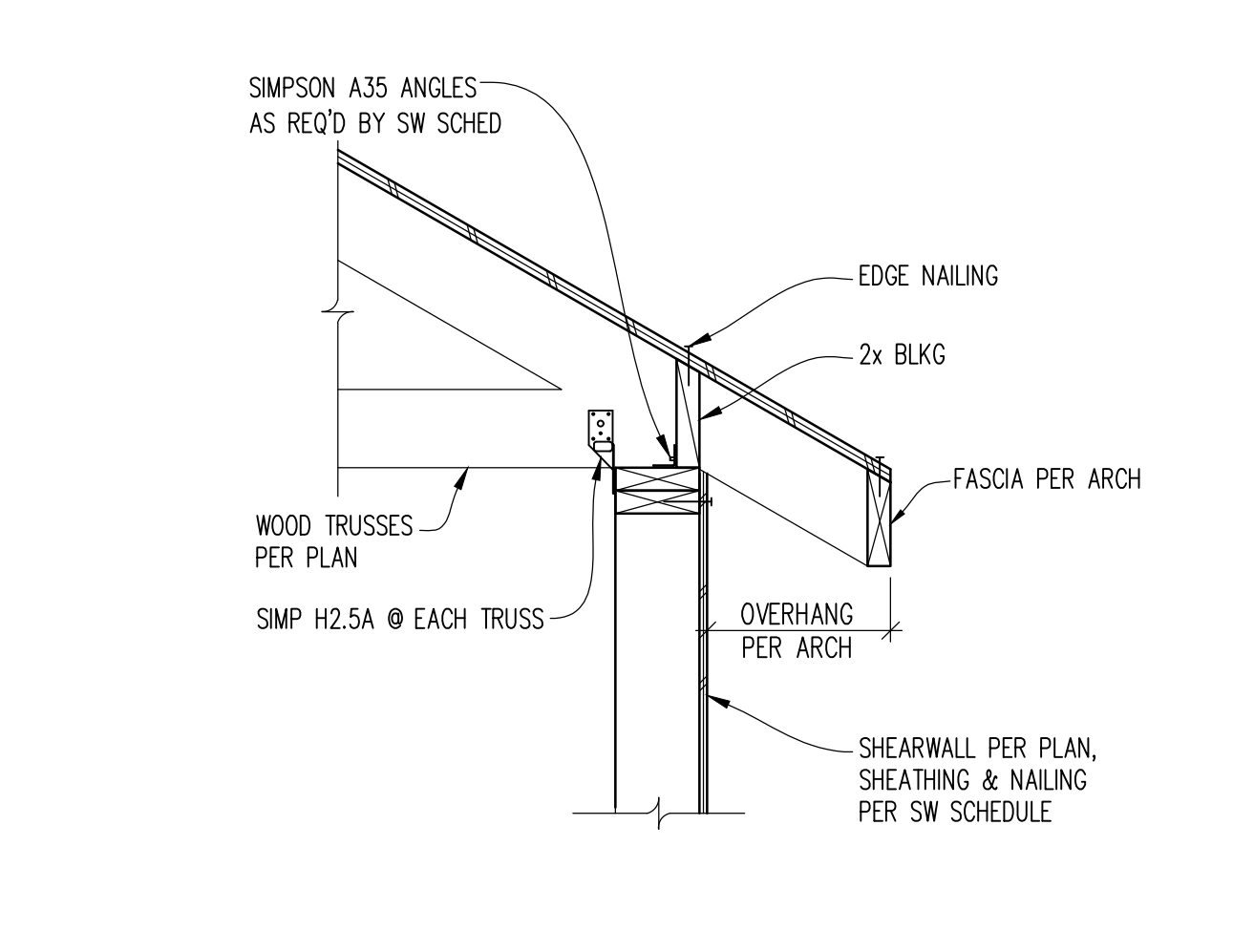
FLOOR TO FLOOR HOLD-DOWN STRAP



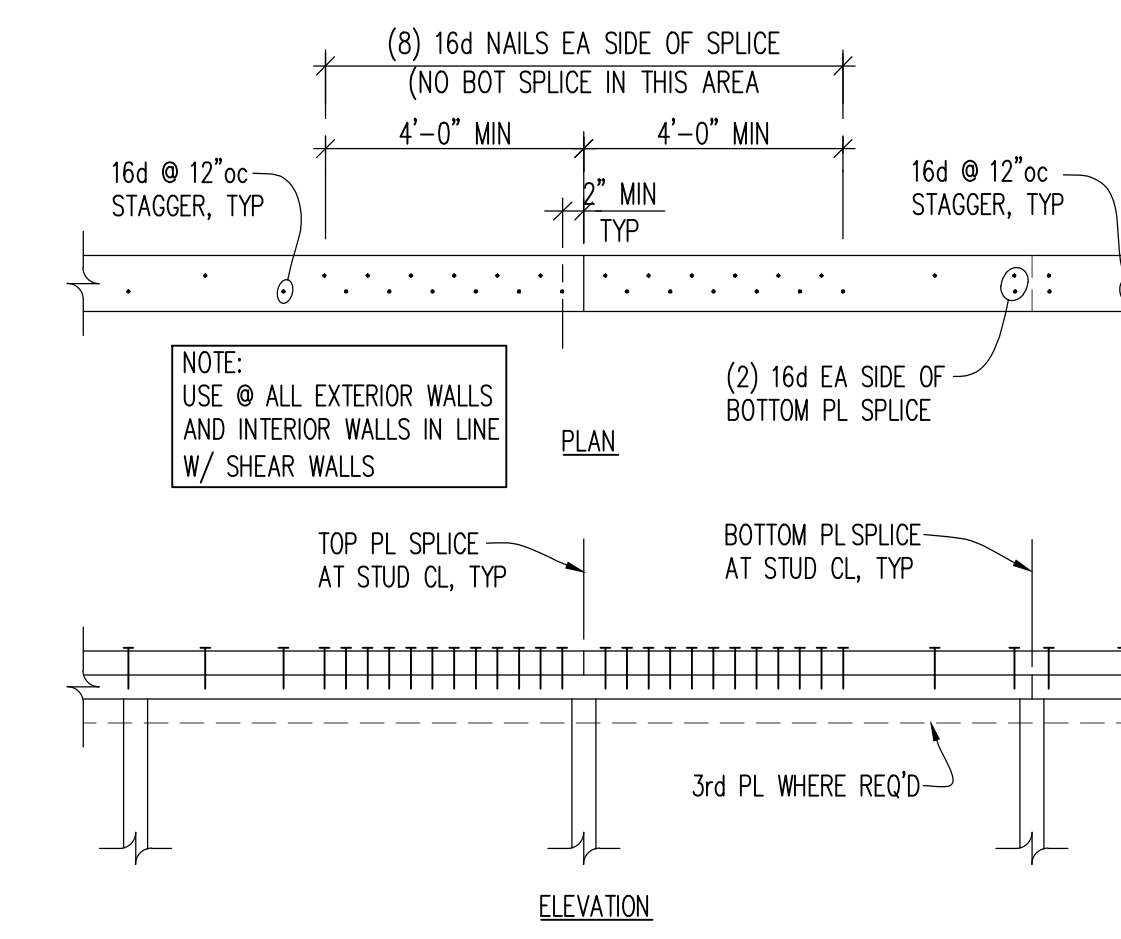
SHEAR WALL SCHEDULE (HEM FIR LUMBER)



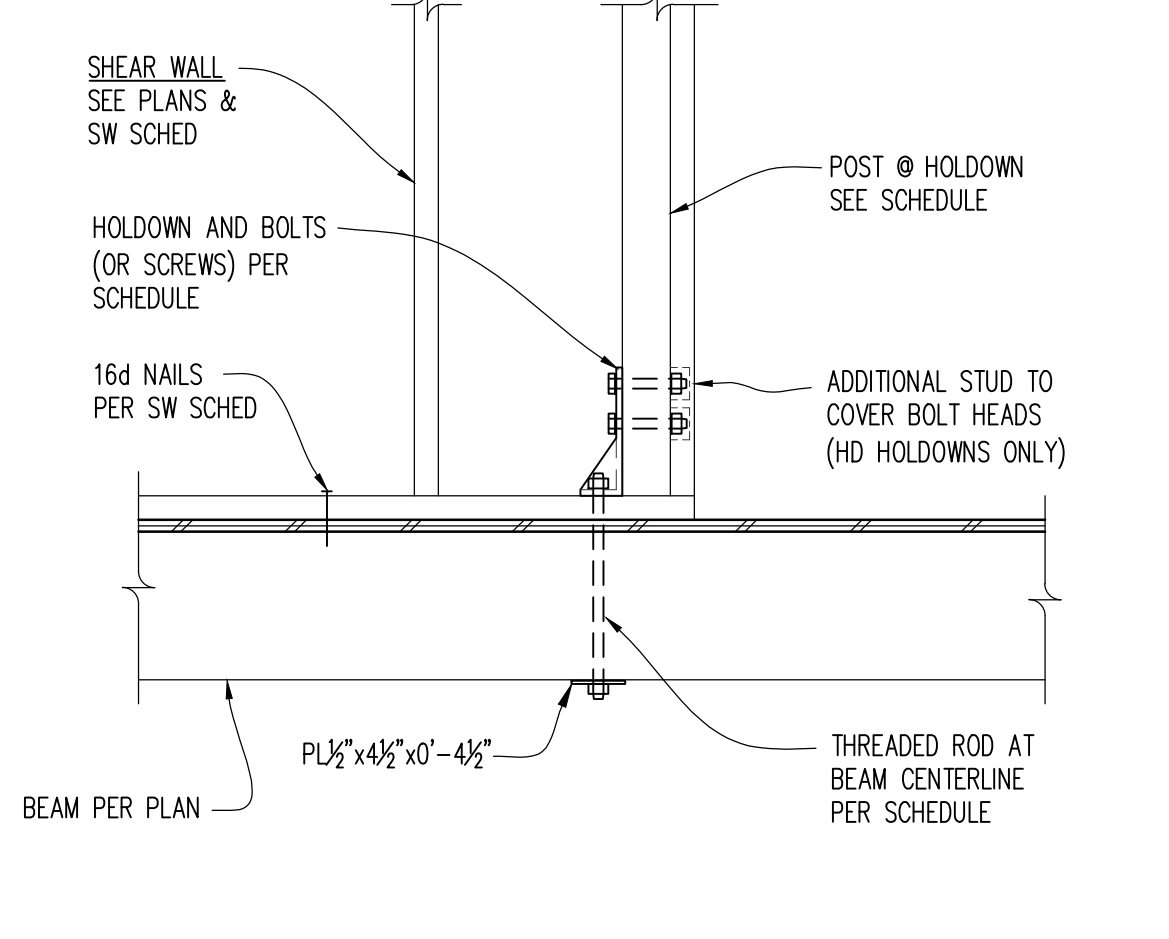
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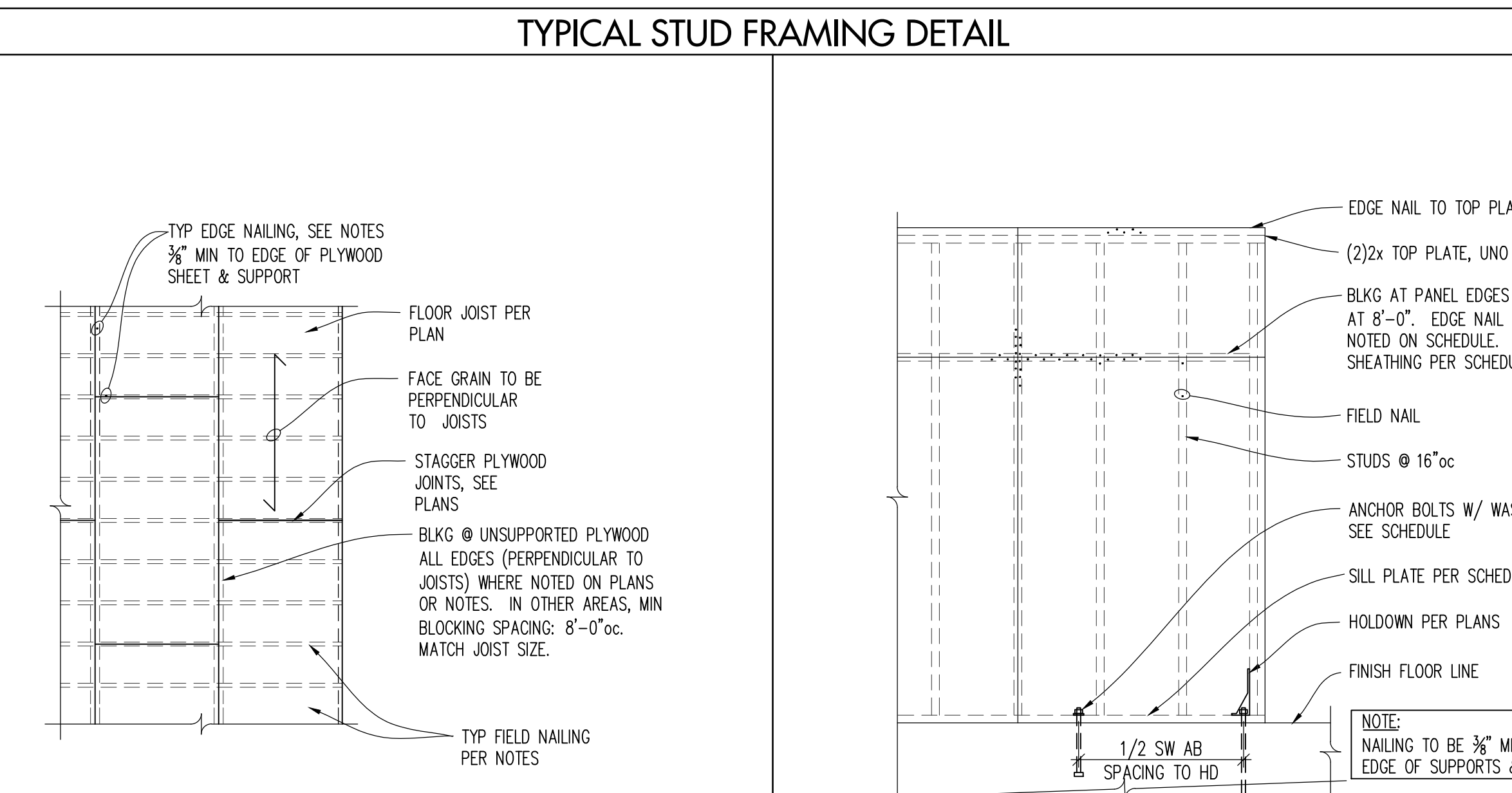
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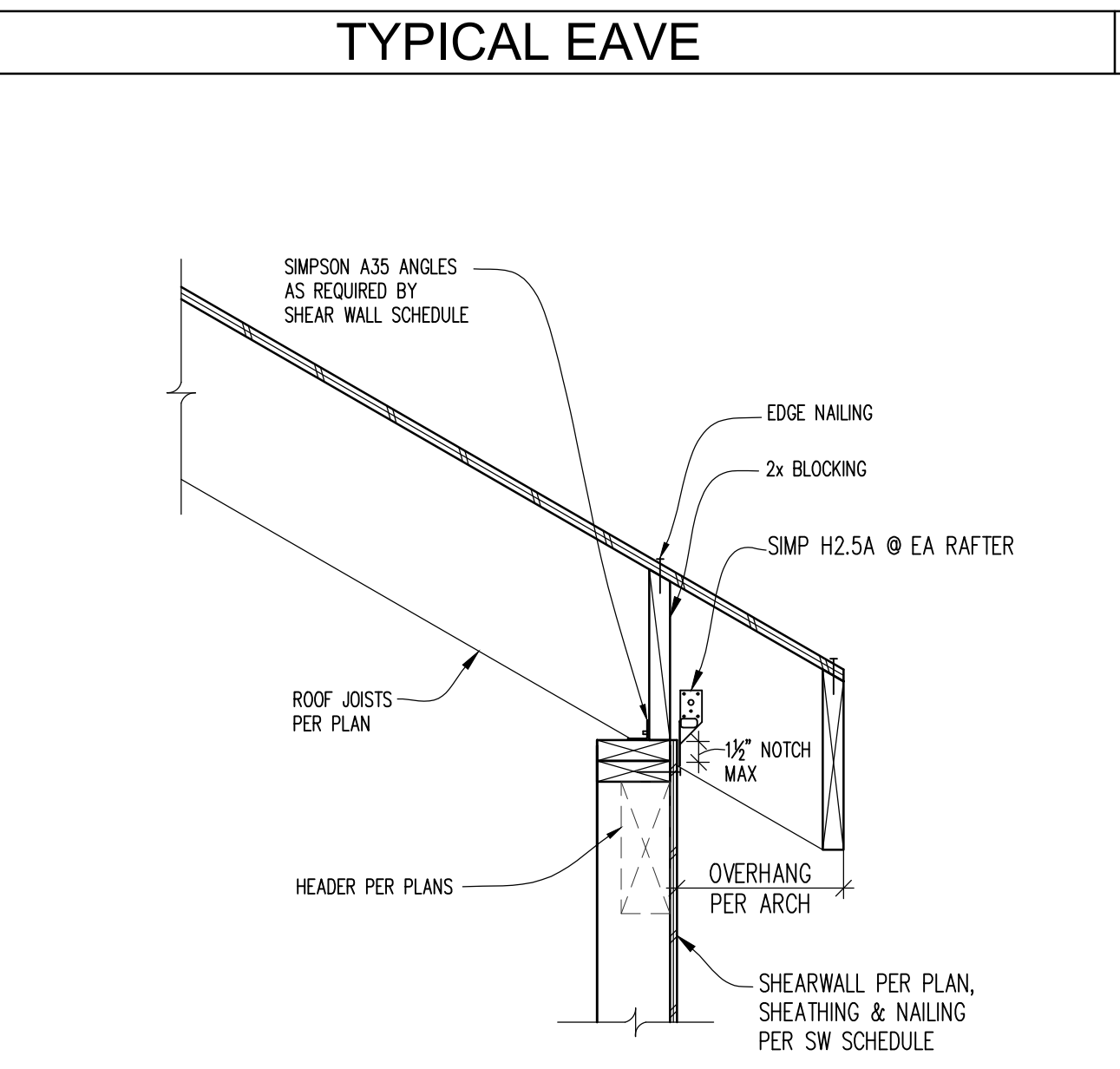
DETAIL



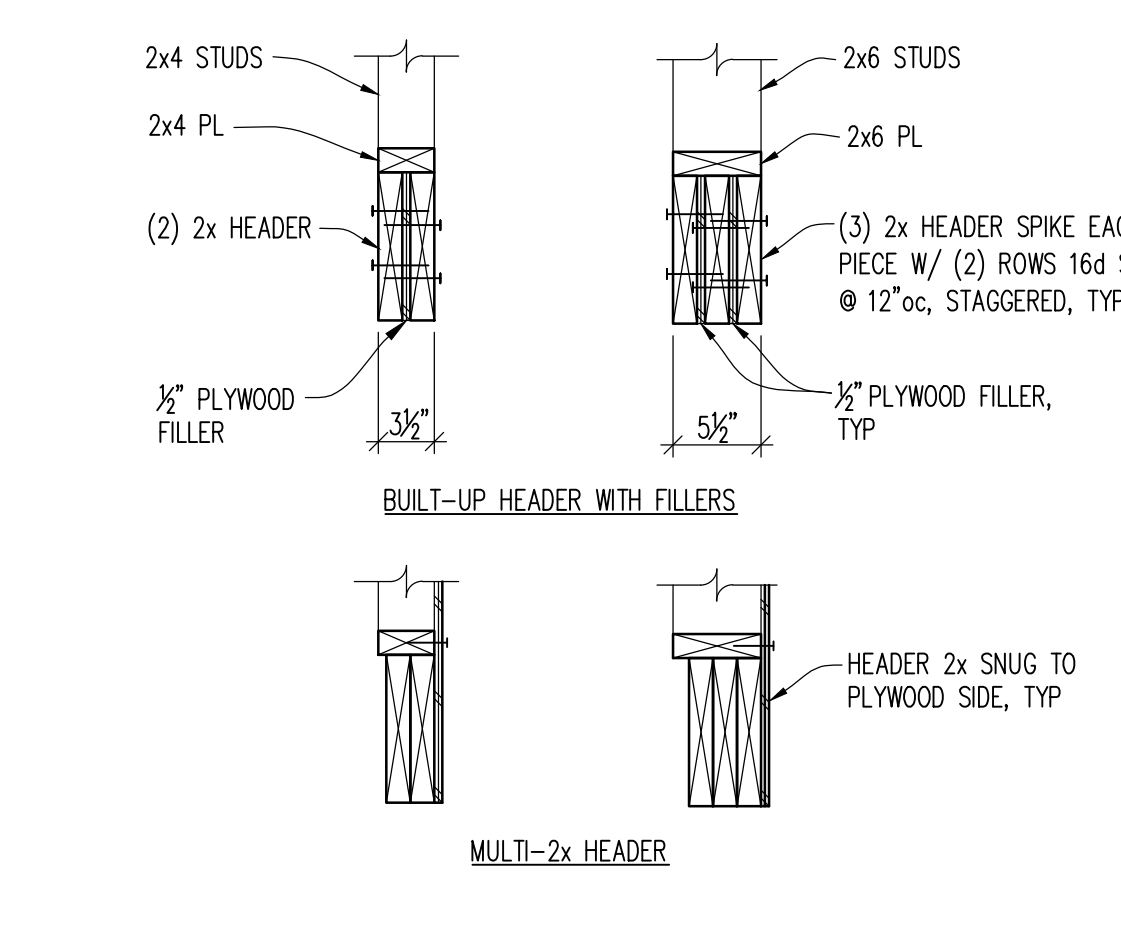
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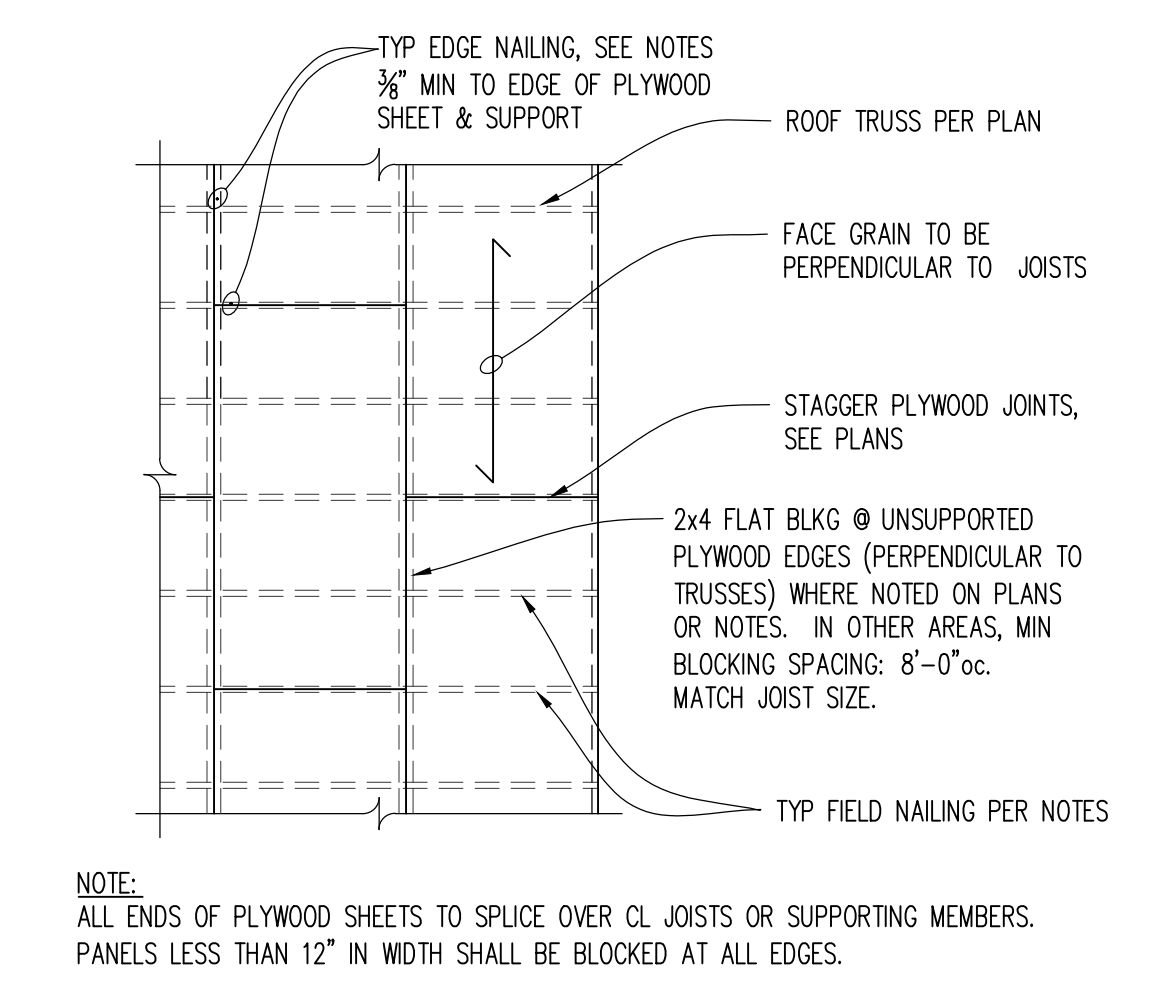
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TYP STUD WALL TOP PLATE SPLICE

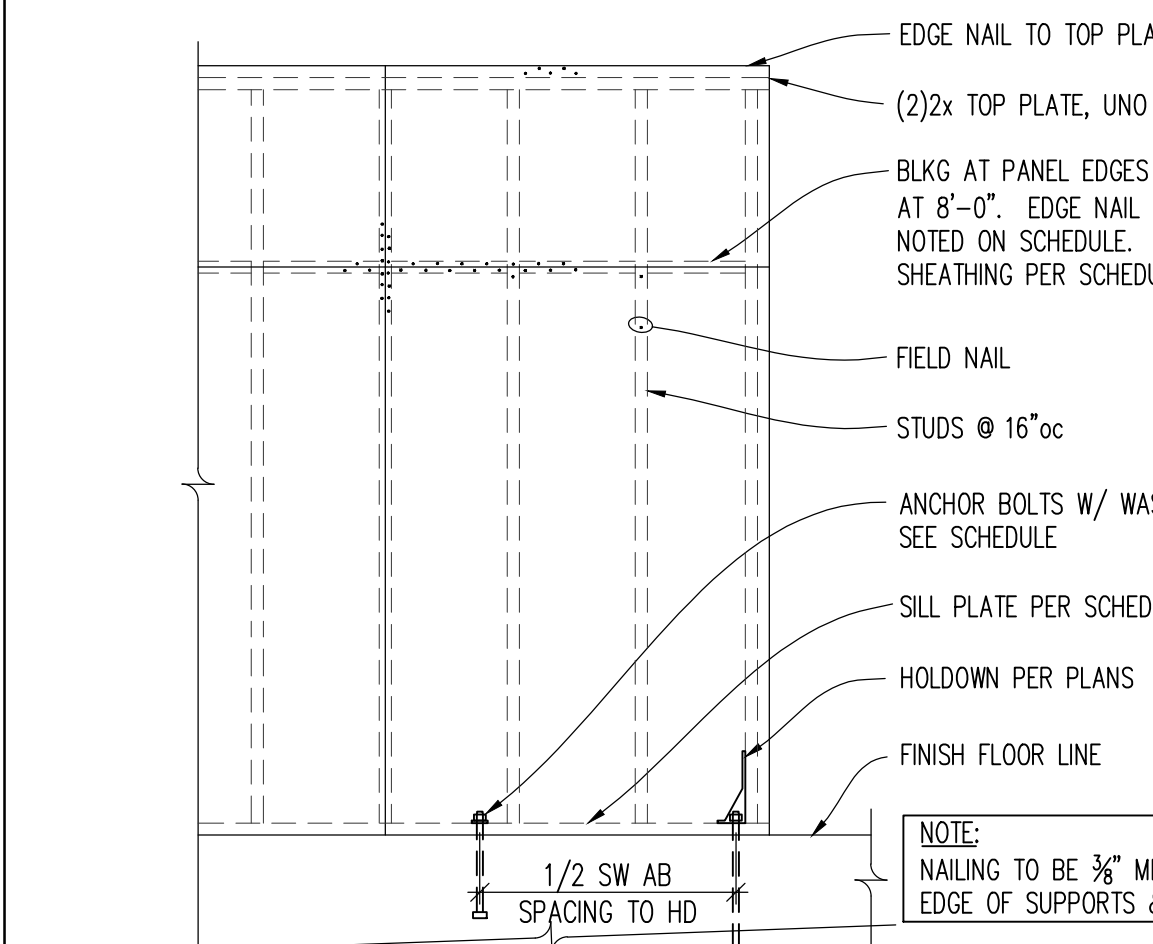


TYPICAL ROOF SHEATHING

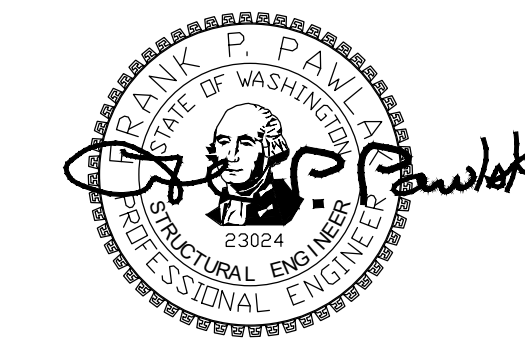


TYPICAL FLOOR SHEATHING

TYPICAL SHEAR WALL SHEATHING



TYPICAL DOWNWARD EAVE



PROJECT

9820 SE 35TH PLACE
 ACHIN & MARY CHEN
 9820 SE 35TH PL
 MERCER ISLAND, WA 98040

REVISIONS

NO.	DATE	DESCRIPTION
11/4-20	PERMIT	
4/21	PERMIT RESPONSE	

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AM	FPP
DESIGN	CHECKED
LMS	AS NOTED
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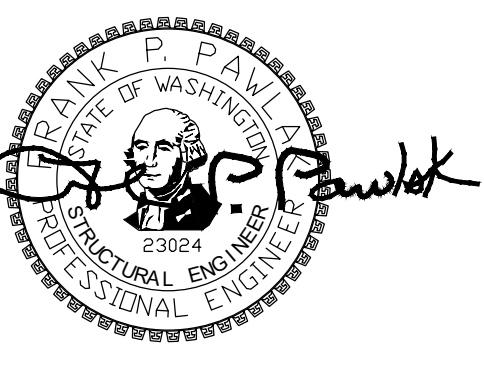
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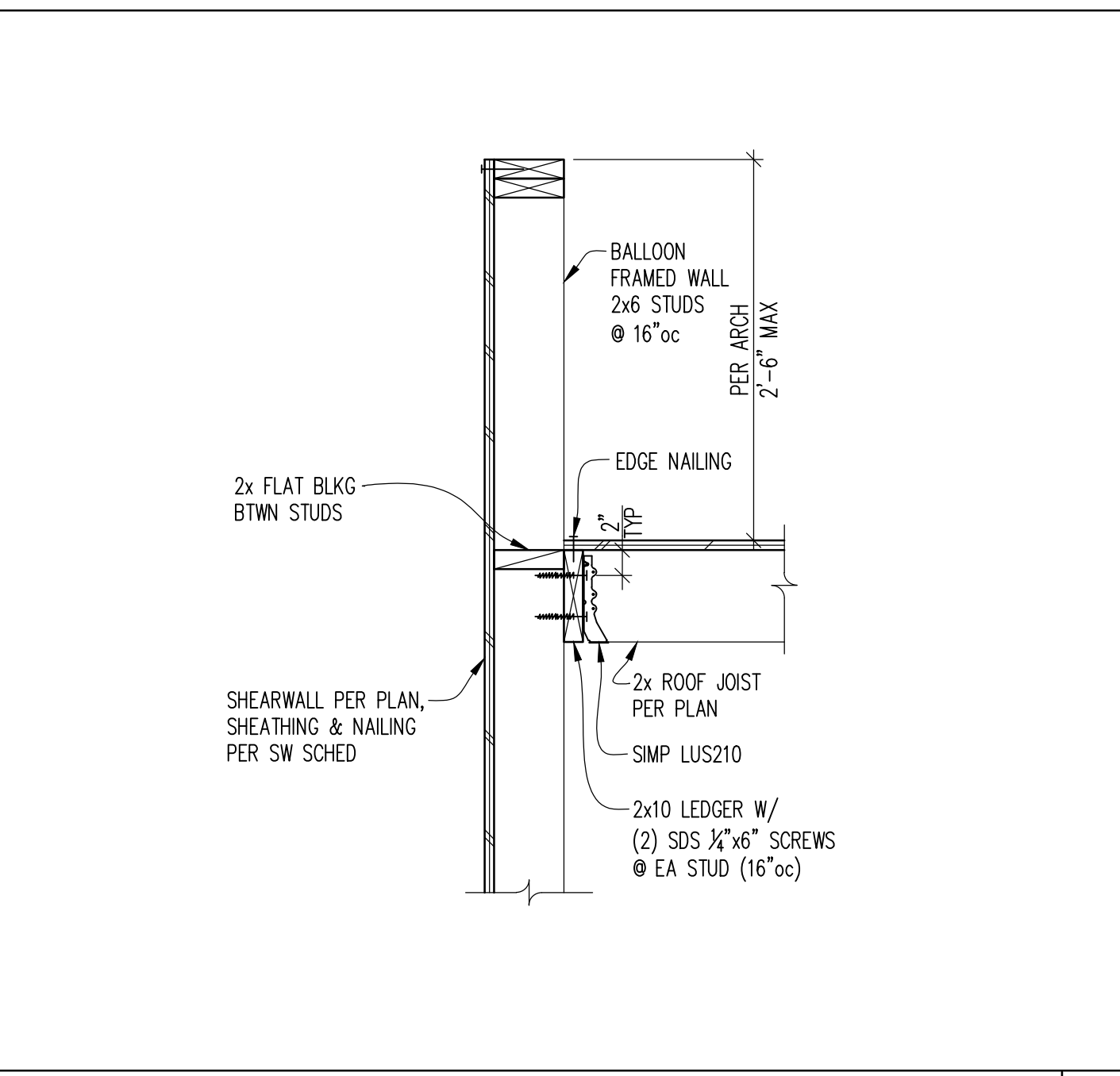
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S4.1

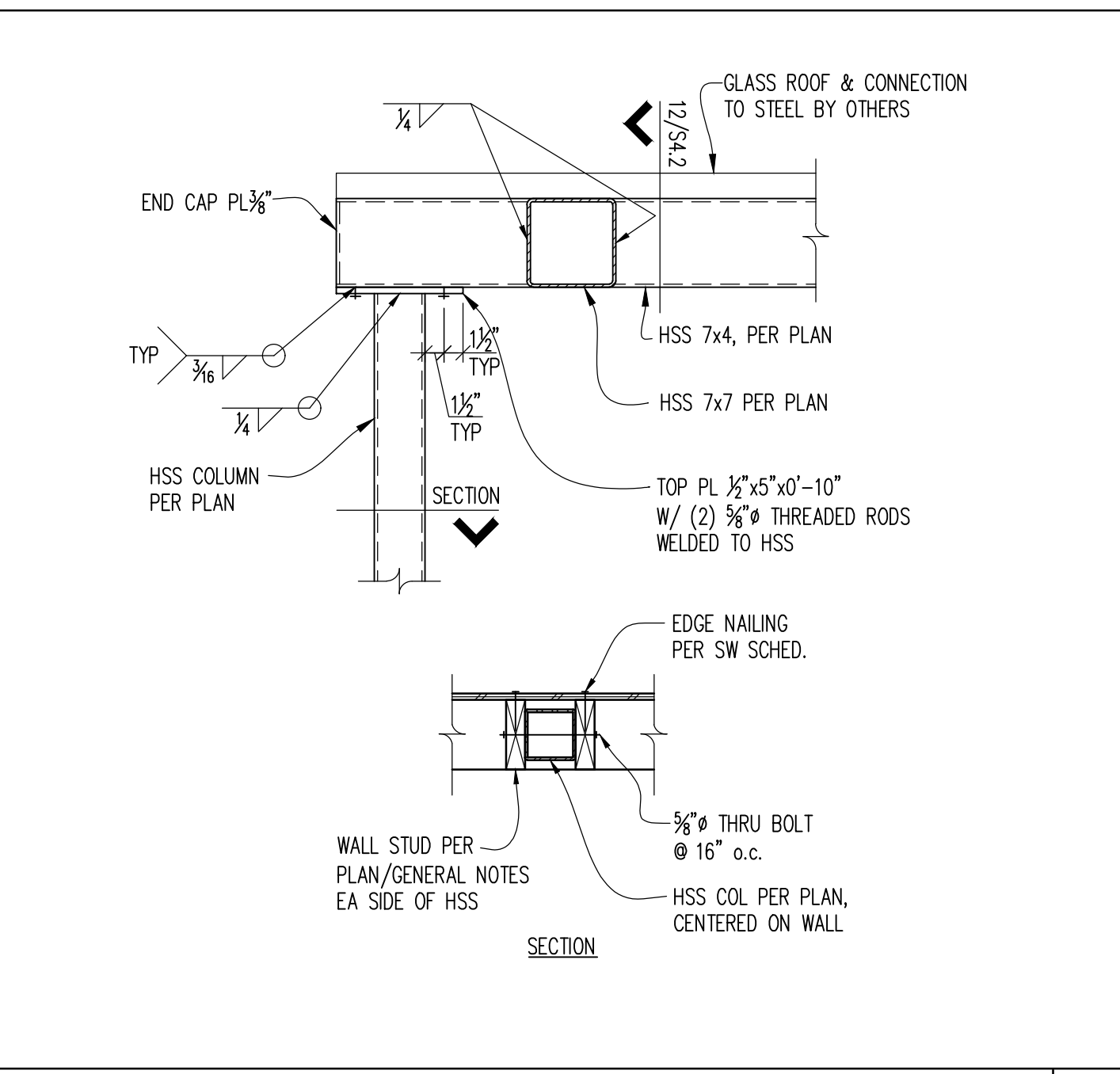


PROJECT

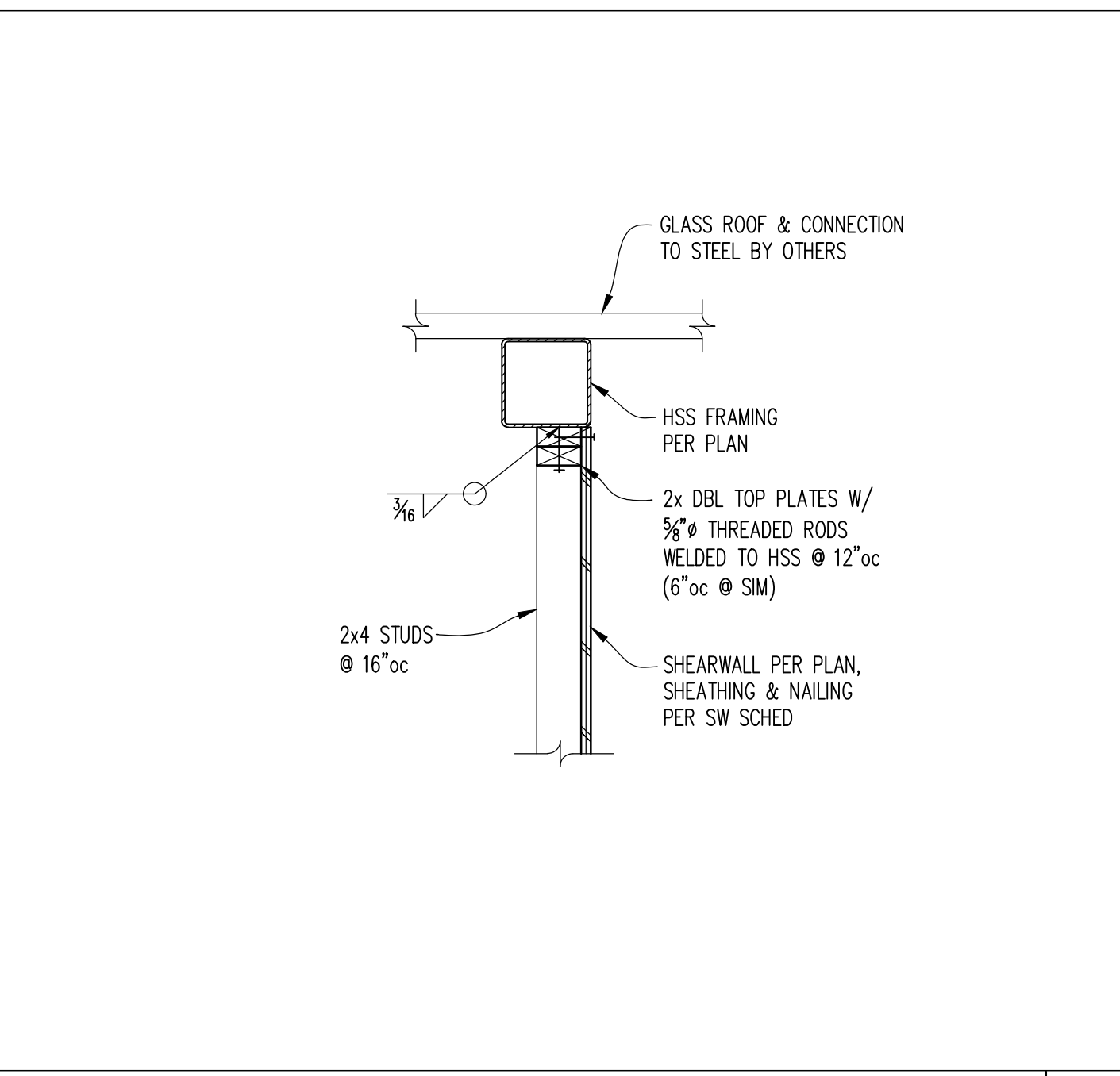
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ACHIN & MARY CHEN
9820 SE 35TH PL
MERCER ISLAND, WA 98040



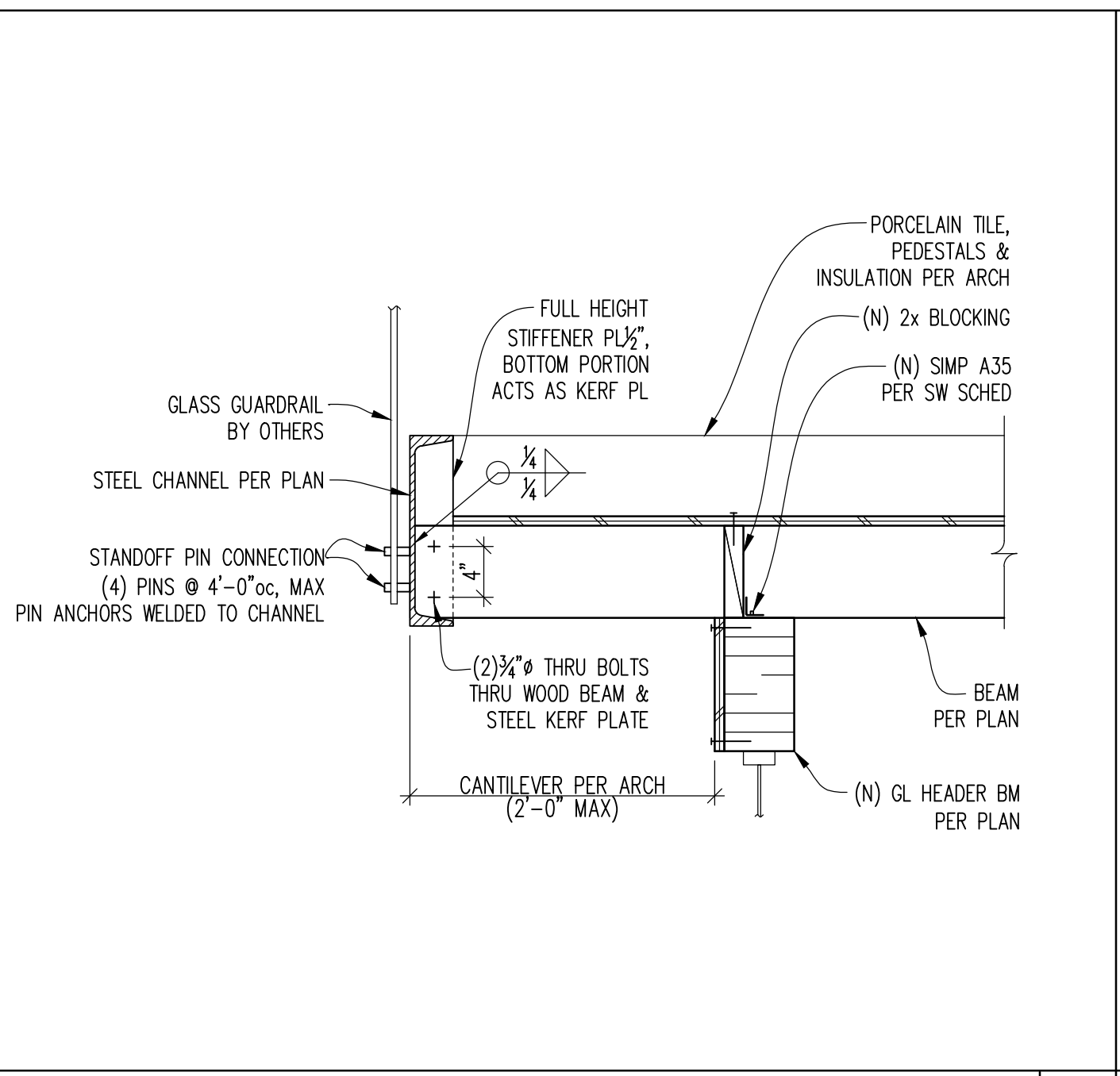
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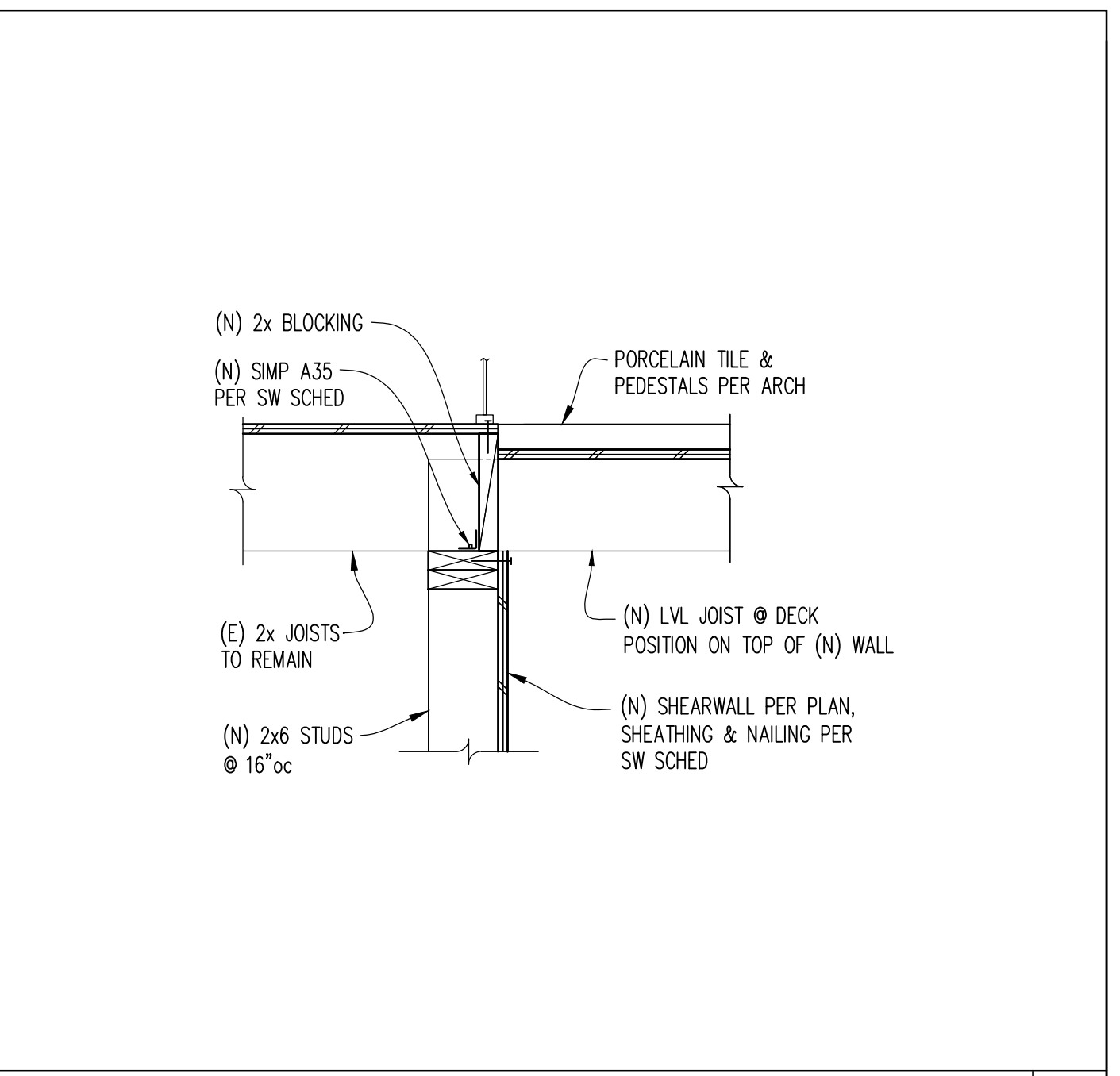
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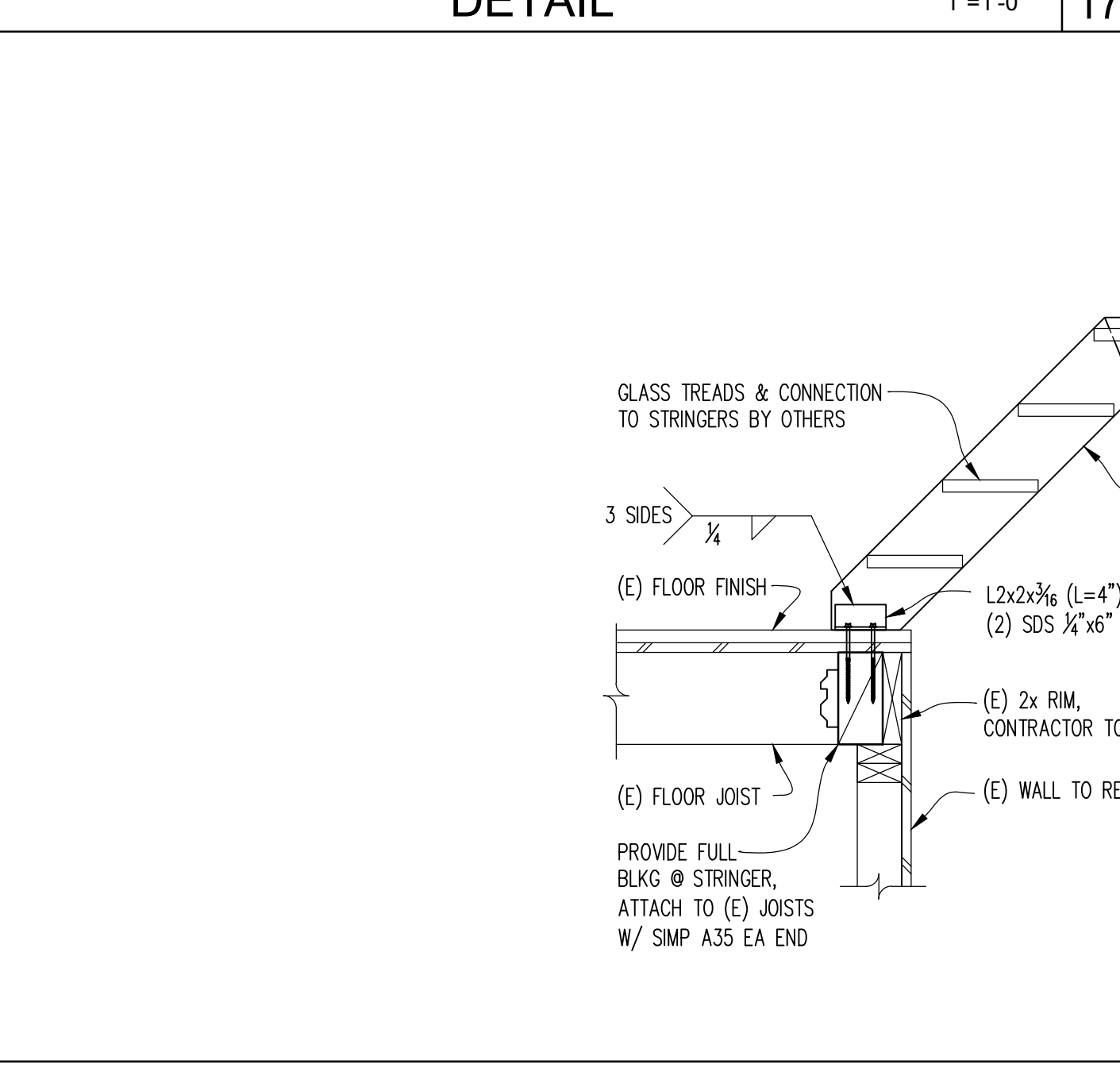
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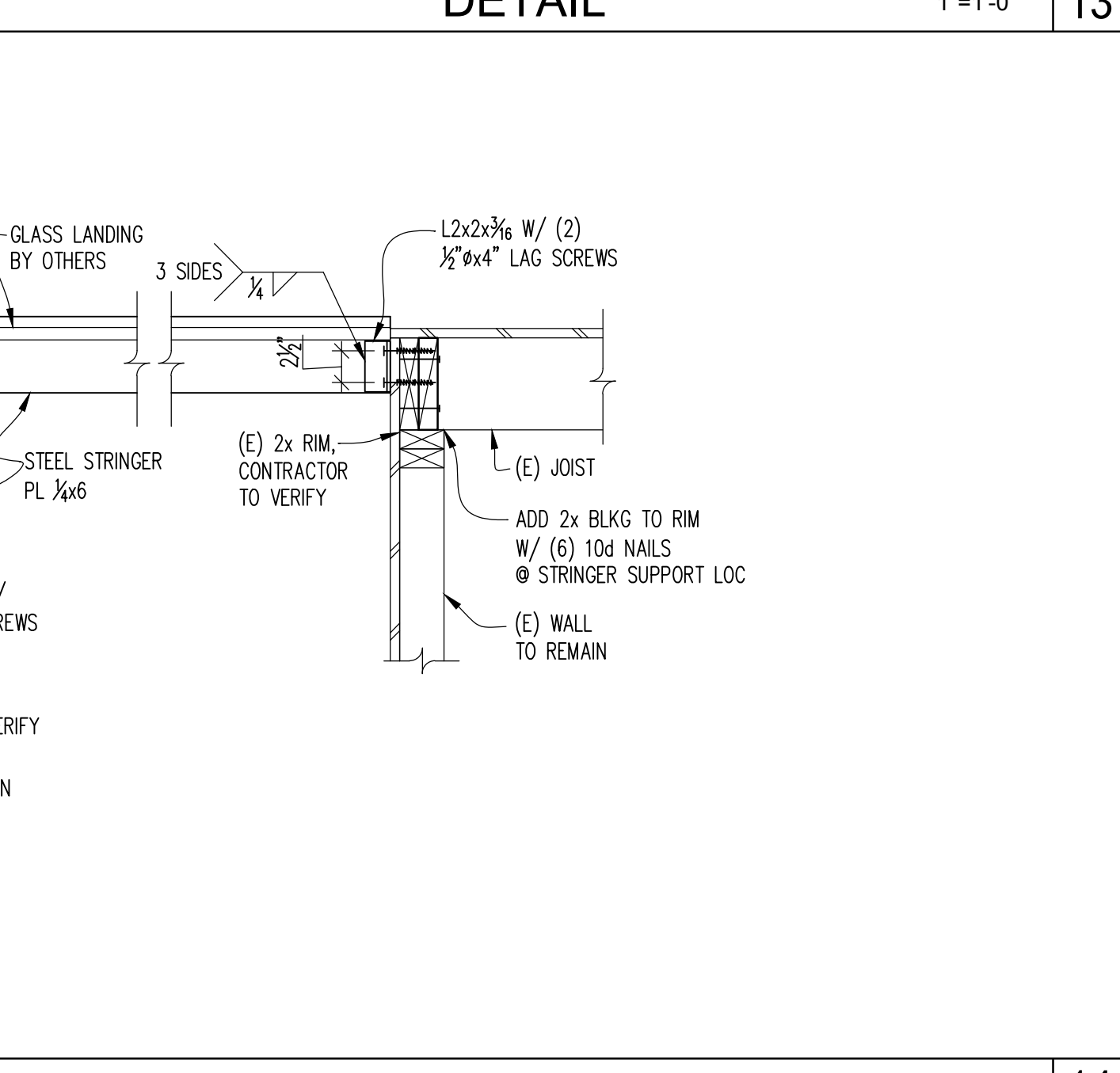
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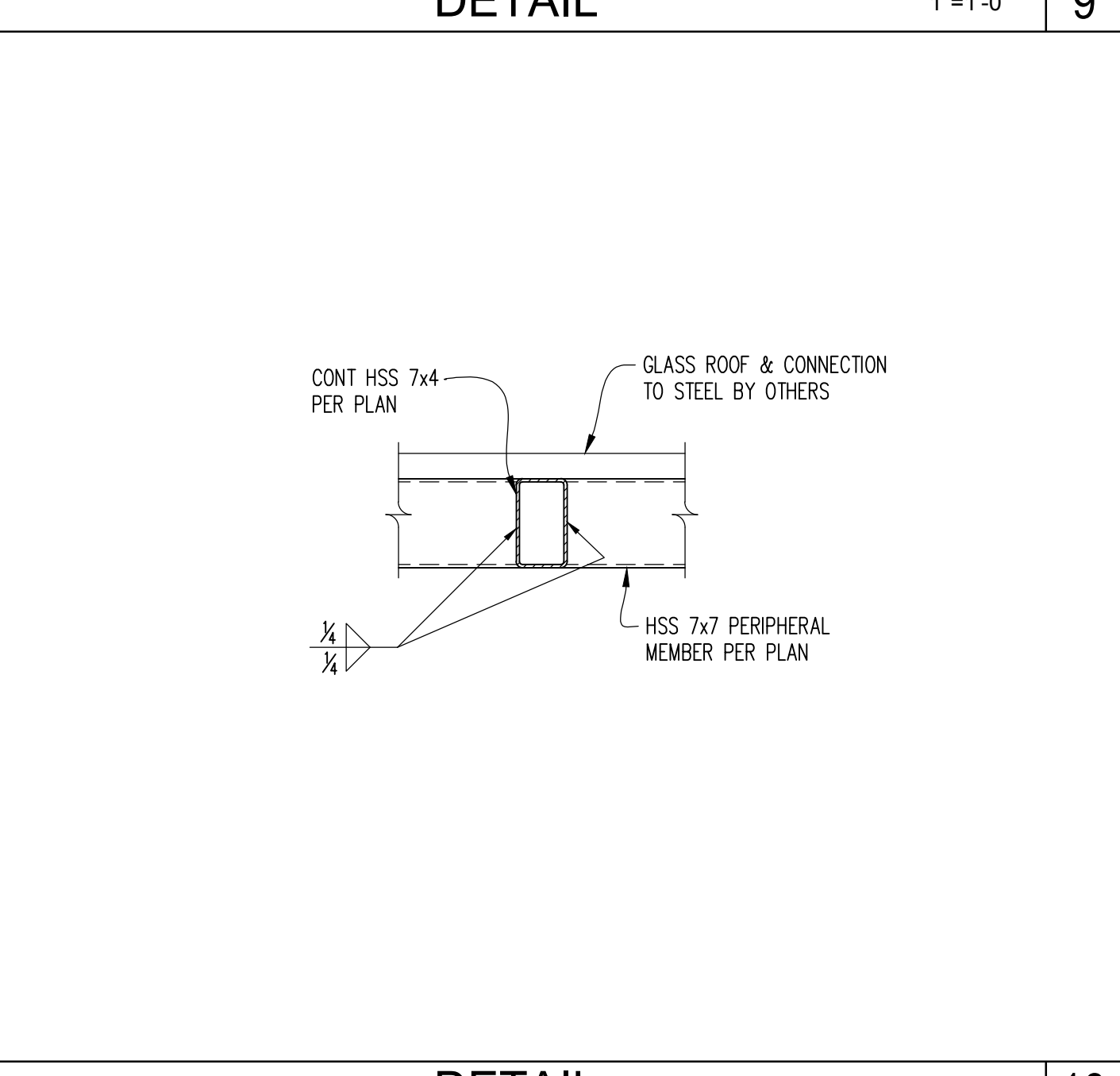
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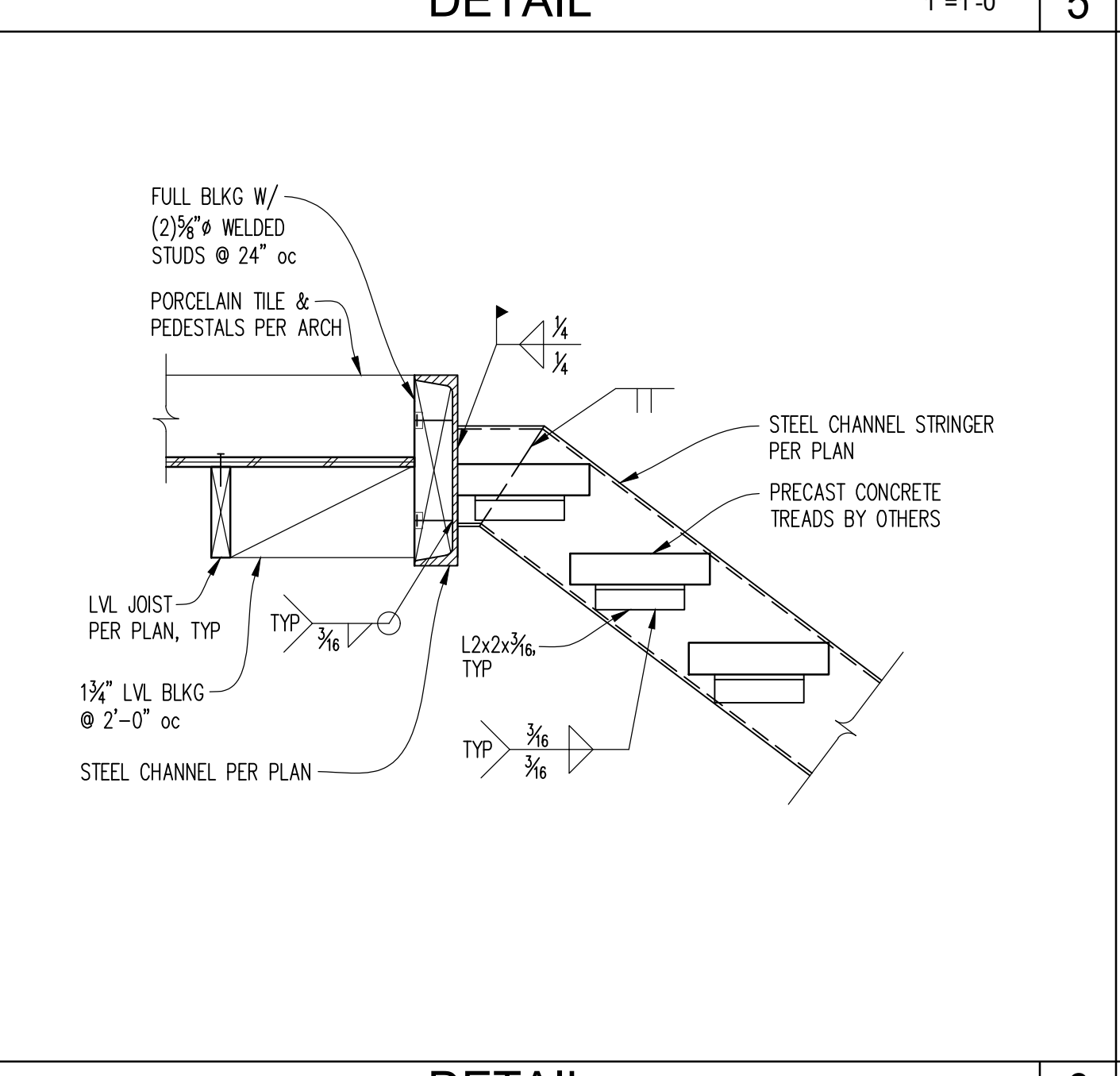
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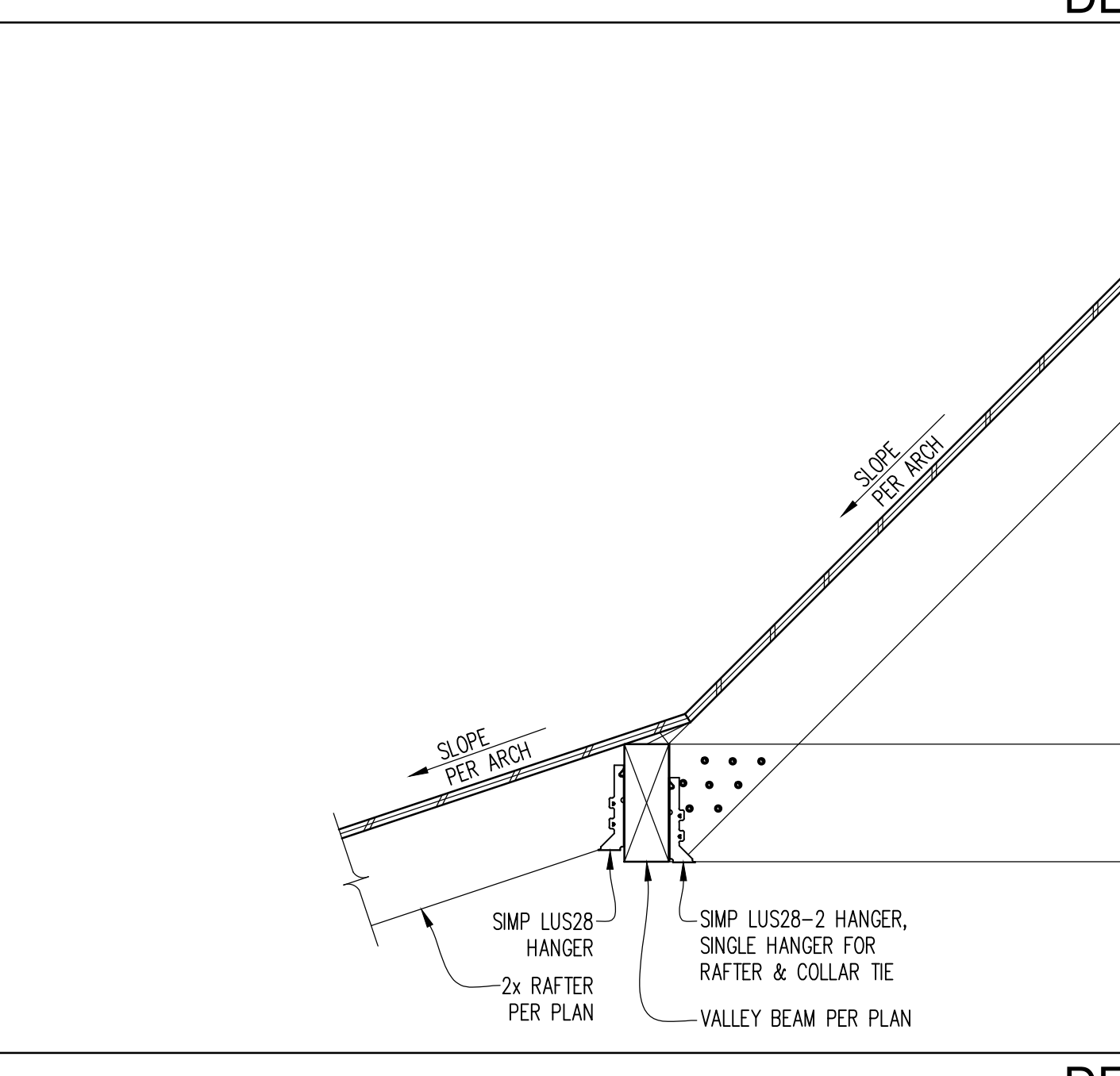
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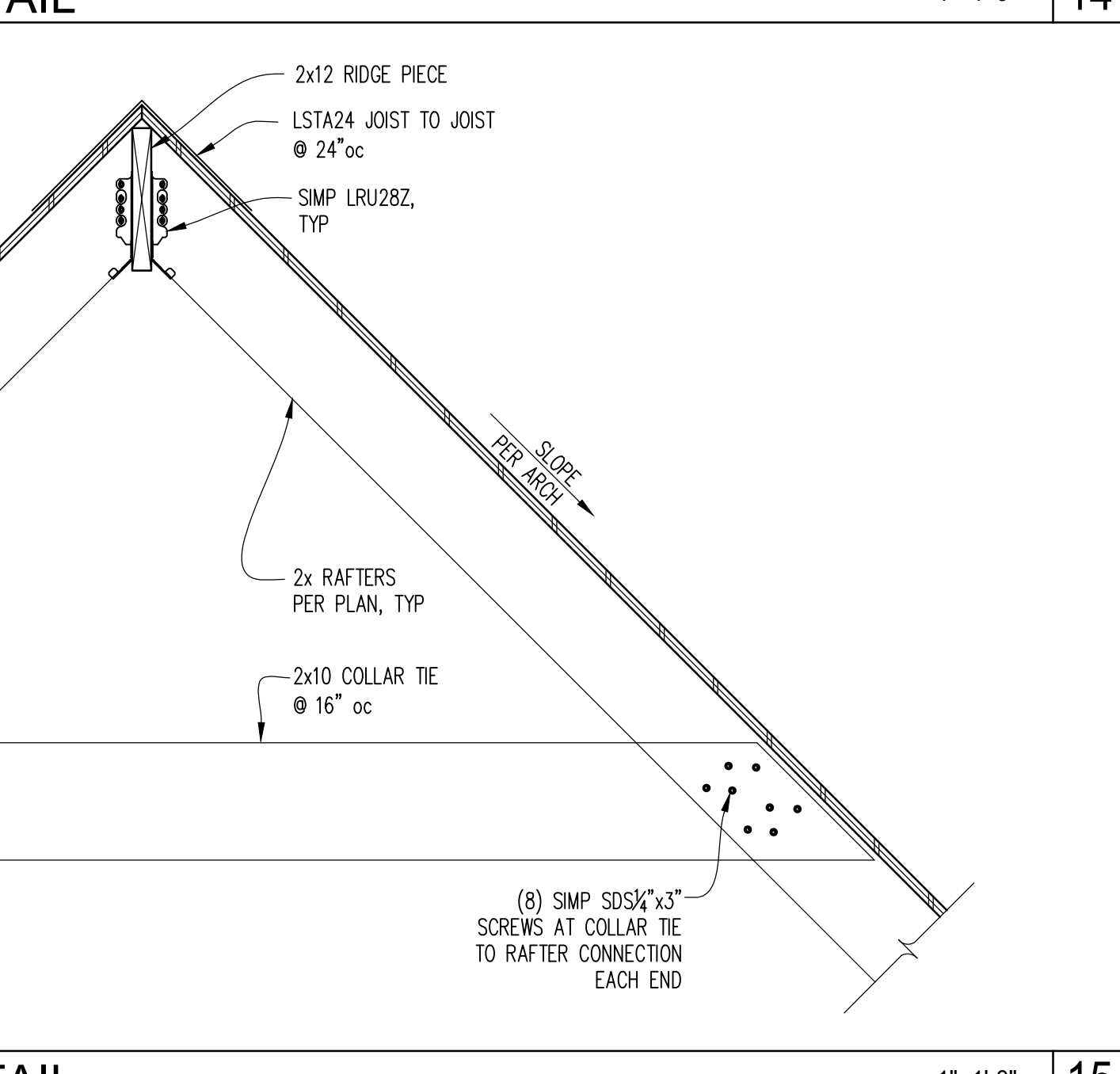
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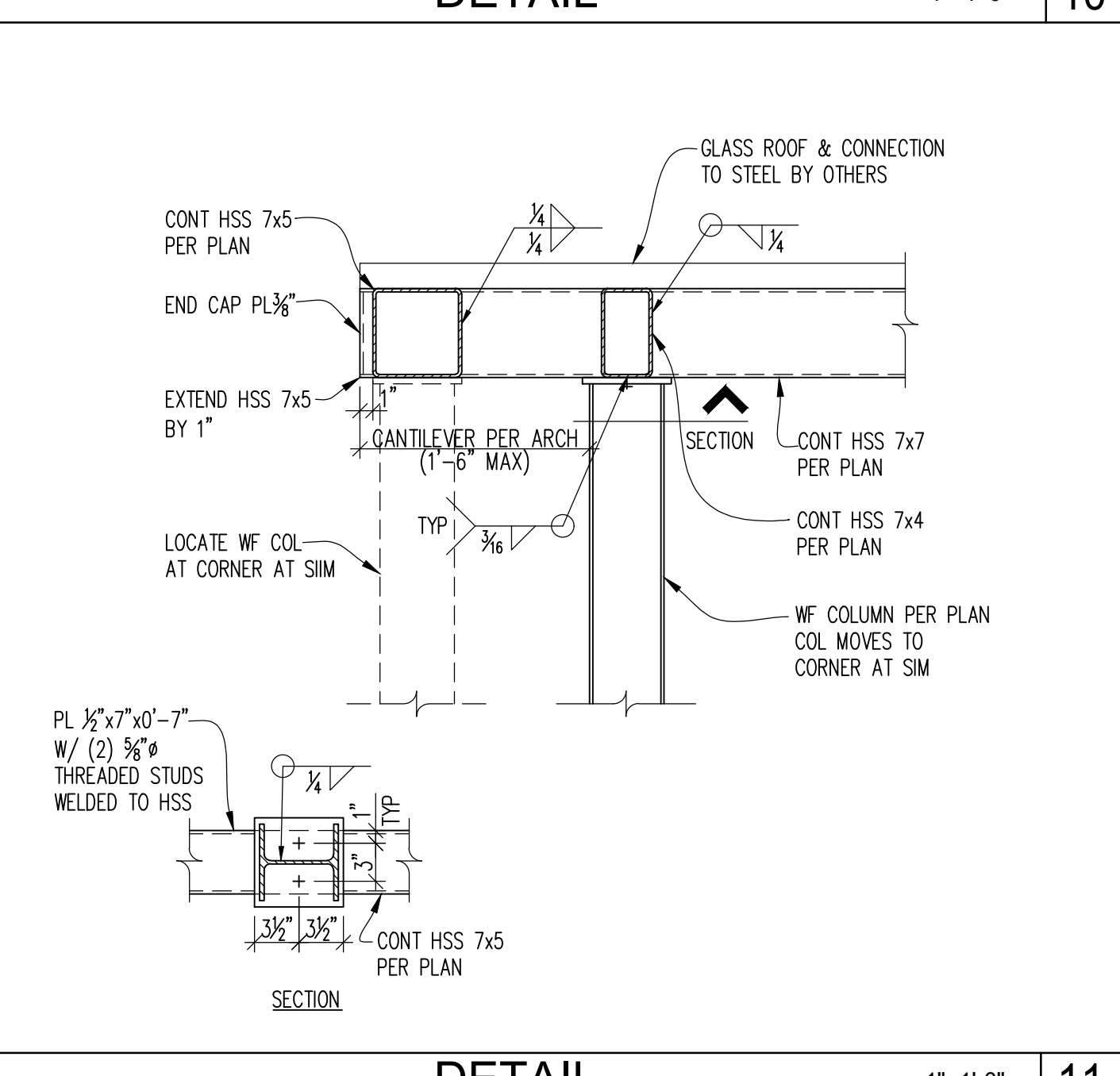
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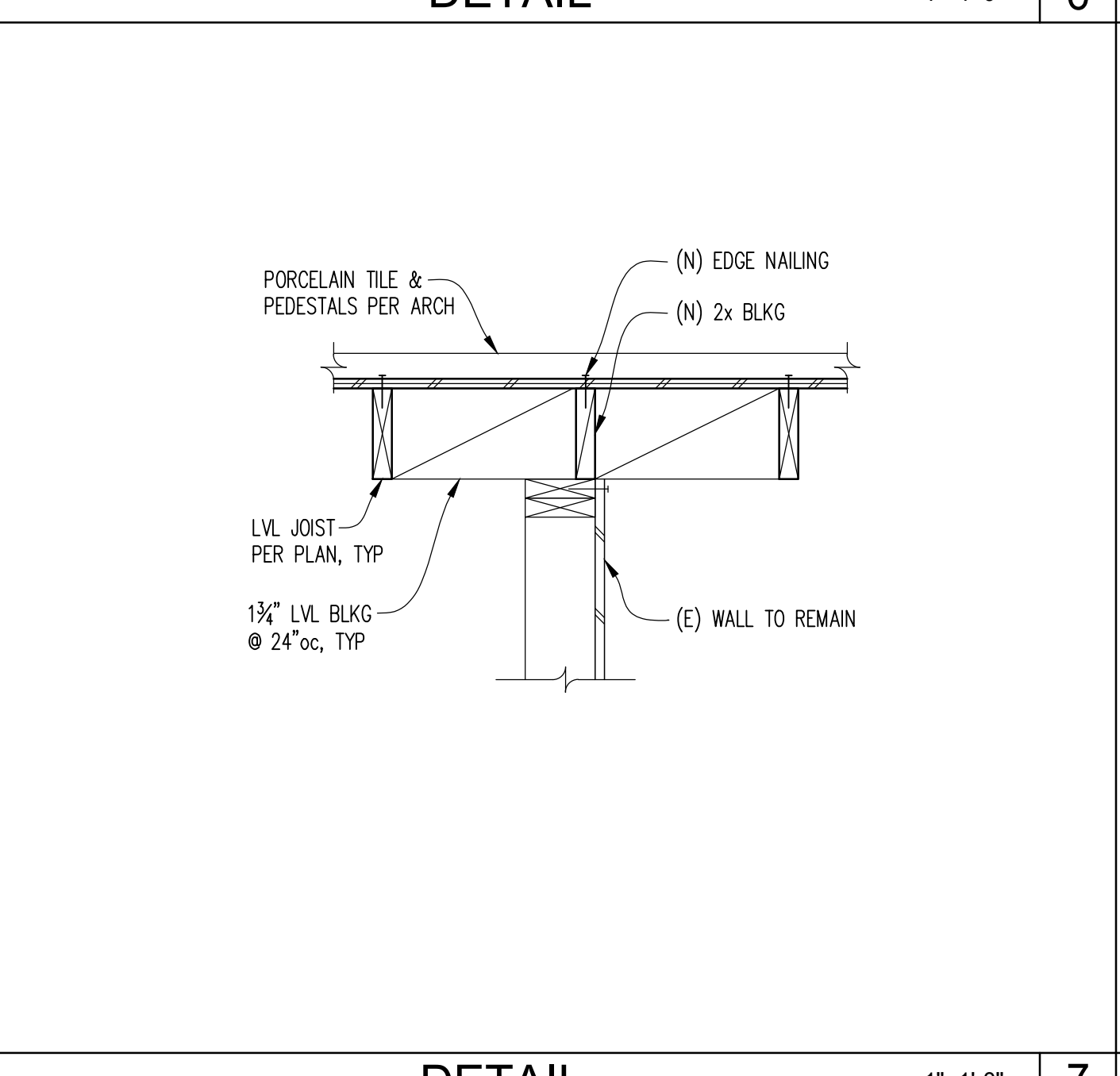
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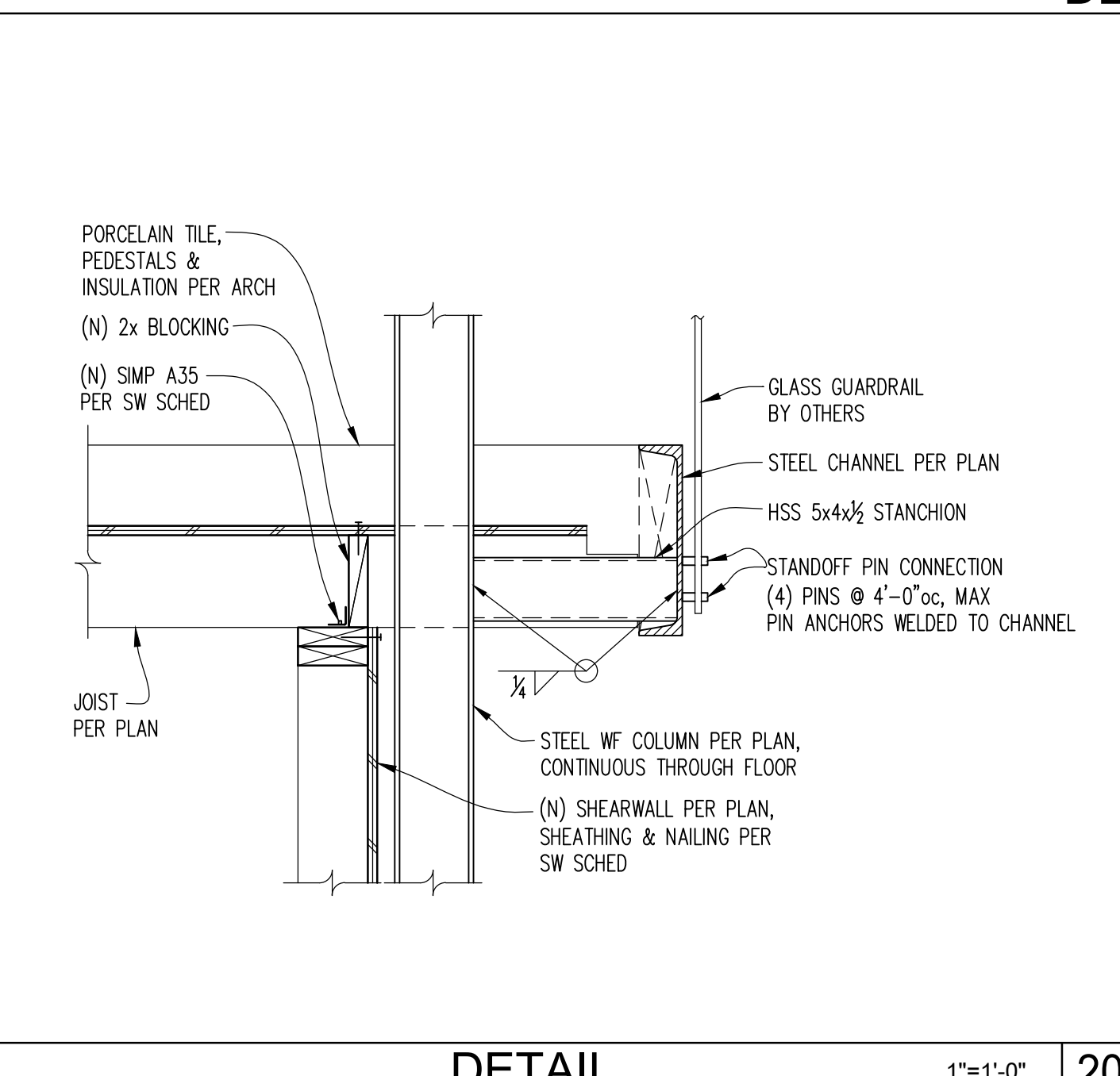
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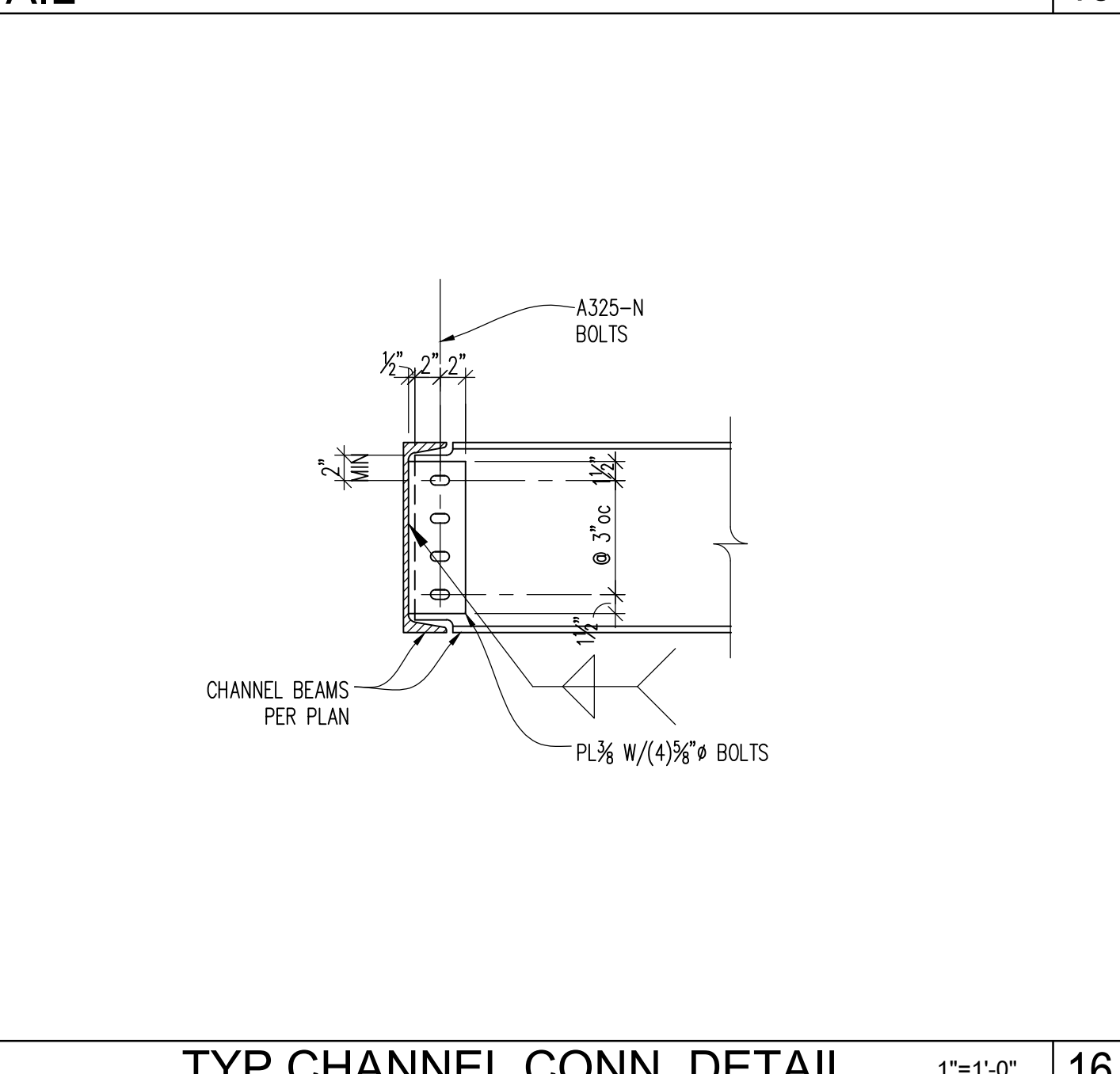
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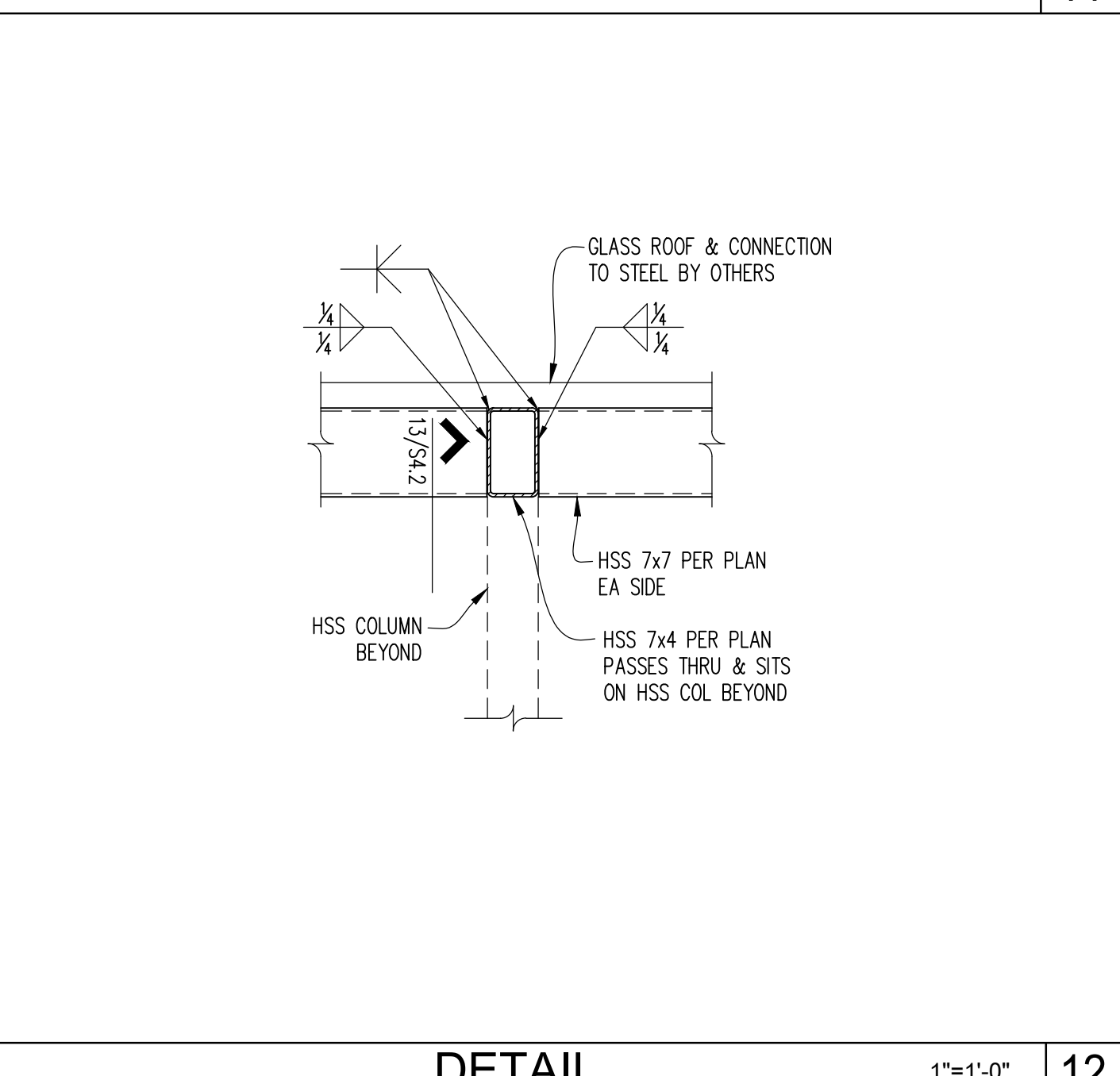
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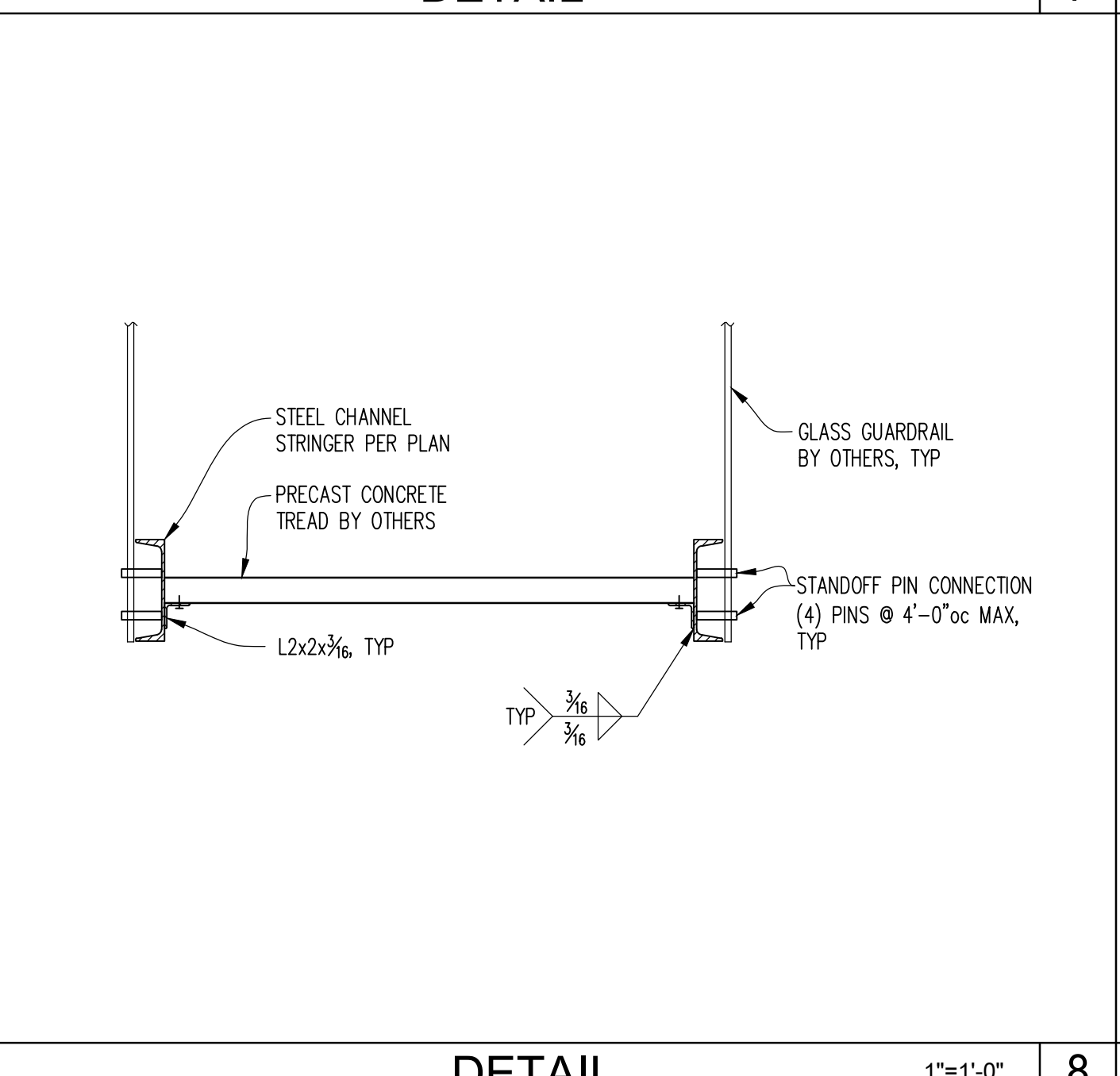
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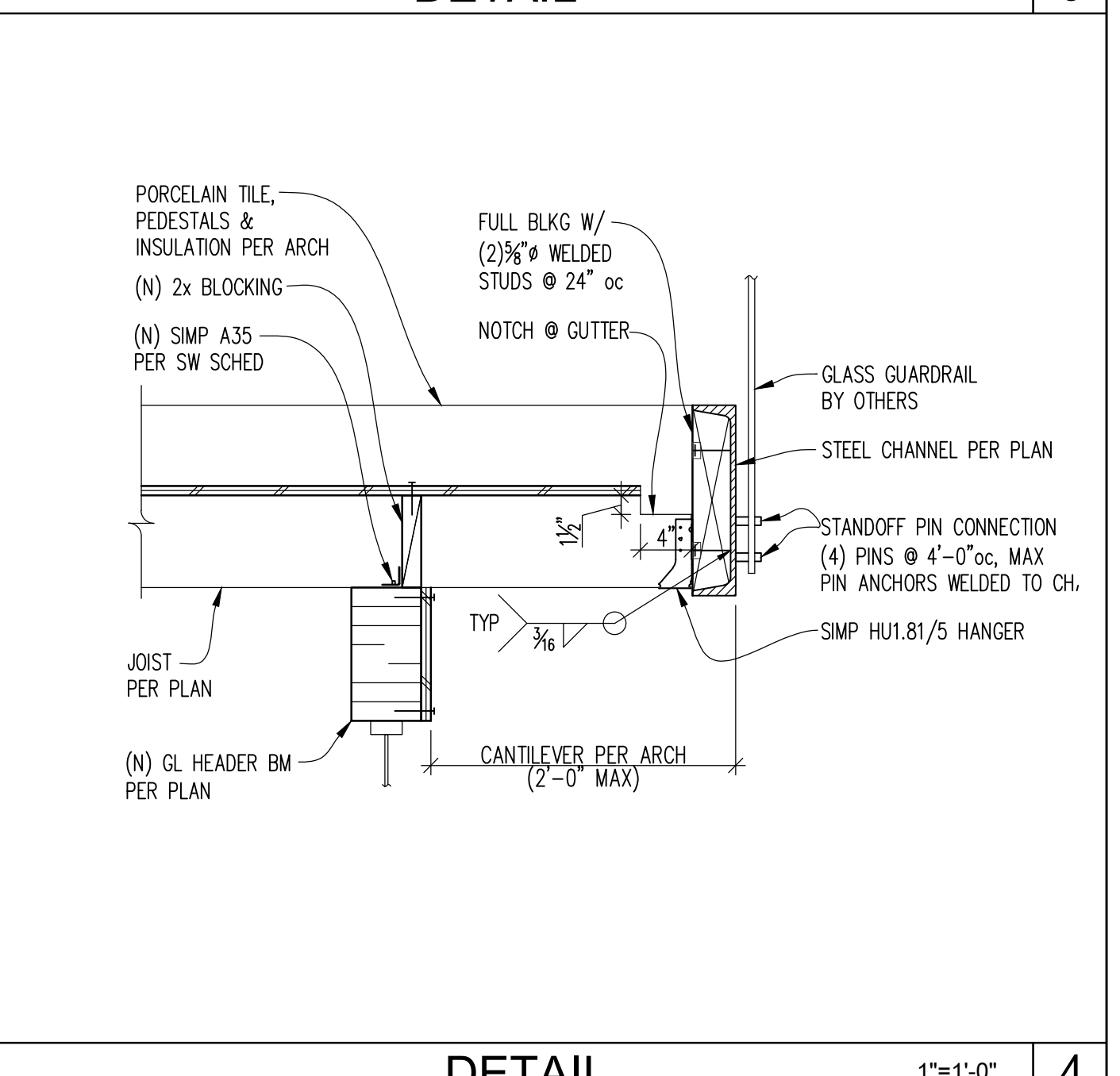
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DETAIL 1"=1'-0" 12



DETAIL 1"=1'-0" 8



DETAIL 1"=1'-0" 4

REVISIONS	
NO.	DATE
11/4-20	PERMIT
4/2/21	PERMIT RESPONSE

11/4/20	20-129
DATE	JOB #
AM	FPP
DESIGN	CHECKED
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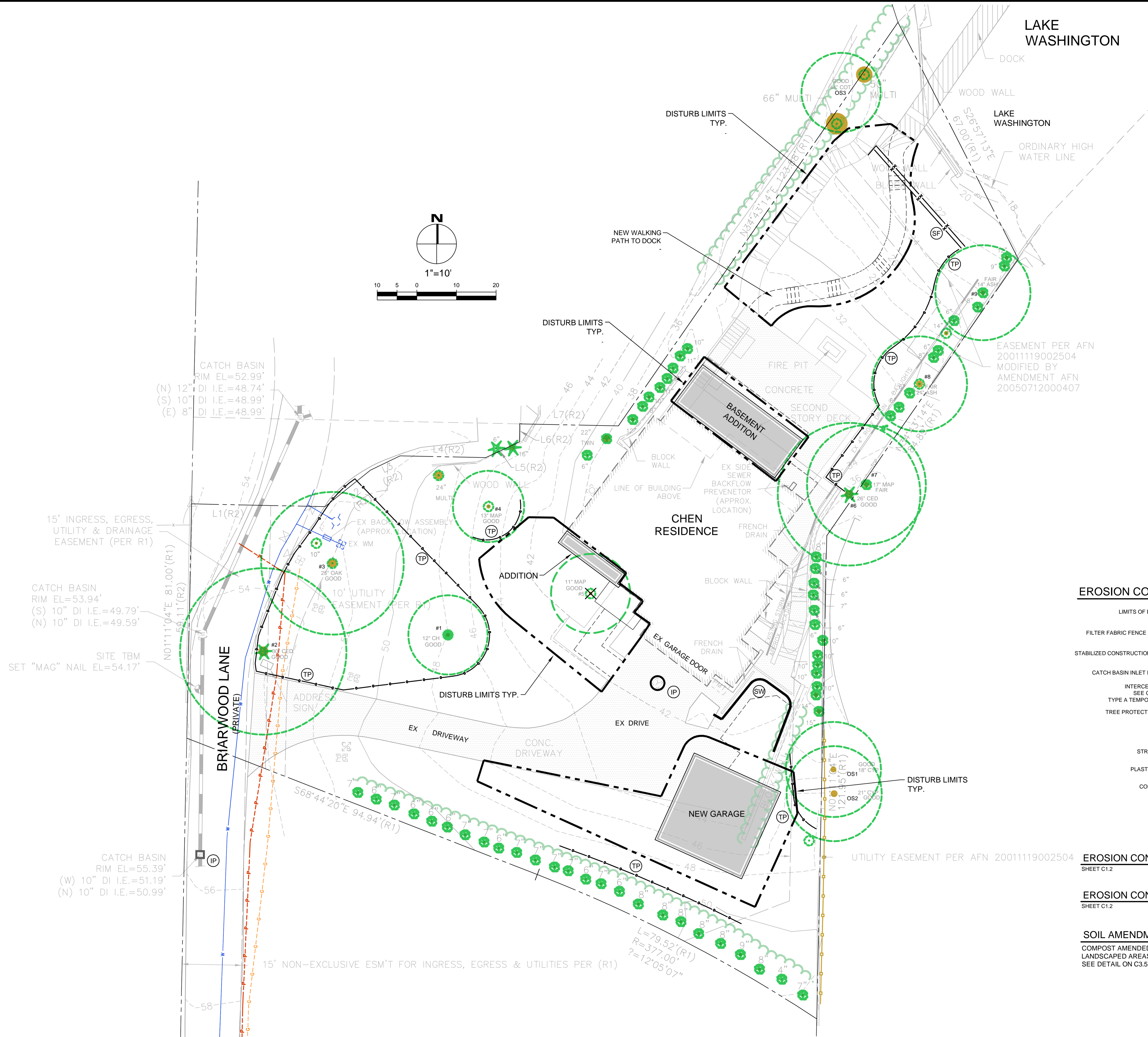
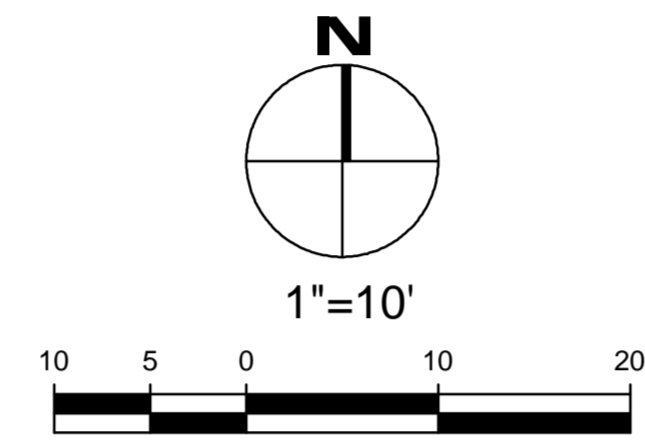
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SECTIONS

SHEET NO.

S4.2

LAKE WASHINGTON



EROSION CONTROL LEGEND

- LIMITS OF DISTURBANCE
- FILTER FABRIC FENCE (SILT FENCE) (SF)
- STABILIZED CONSTRUCTION ENTRANCE (CE)
- CATCH BASIN INLET PROTECTION (IP)
- INTERCEPTOR SWALE (SEE COR DWG 504, TYPE A TEMPORARY SWALE) (IS)
- TREE PROTECTION FENCING (TP)
- STOCKPILE (ST)
- STRAW WATTLES (SW)
- PLASTIC COVERING (PC)
- COMPOST SOCK (CS)
- USE AS NEEDED
- COVER EXPOSED AREAS WITHIN MERCER ISLAND TIME LIMIT
- SEDIMENT CONTROL OPTION RECOMMENDED IN LIEU OF SILT FENCE

EROSION CONTROL NOTES
SHEET C1.2

EROSION CONTROL DETAILS
SHEET C1.2

SOIL AMENDMENT REQUIRED
COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

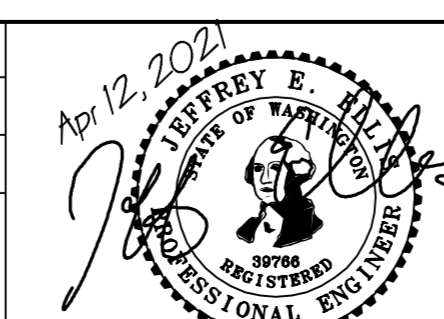
PERMIT #2005-081

NO.	DATE	BY	REVISIONS

APPLICANT
MIN CUSTOM HOMES, JOE NAISETH
1412 112TH AVE. NE, SUITE #104
BELLEVUE, WA 98004
PHONE: 206-353-5823



DATE: Apr 12, 2021
JOB#: 1933
DRAFTED: CH DESIGN: DE
DIGITAL SIGNATURE

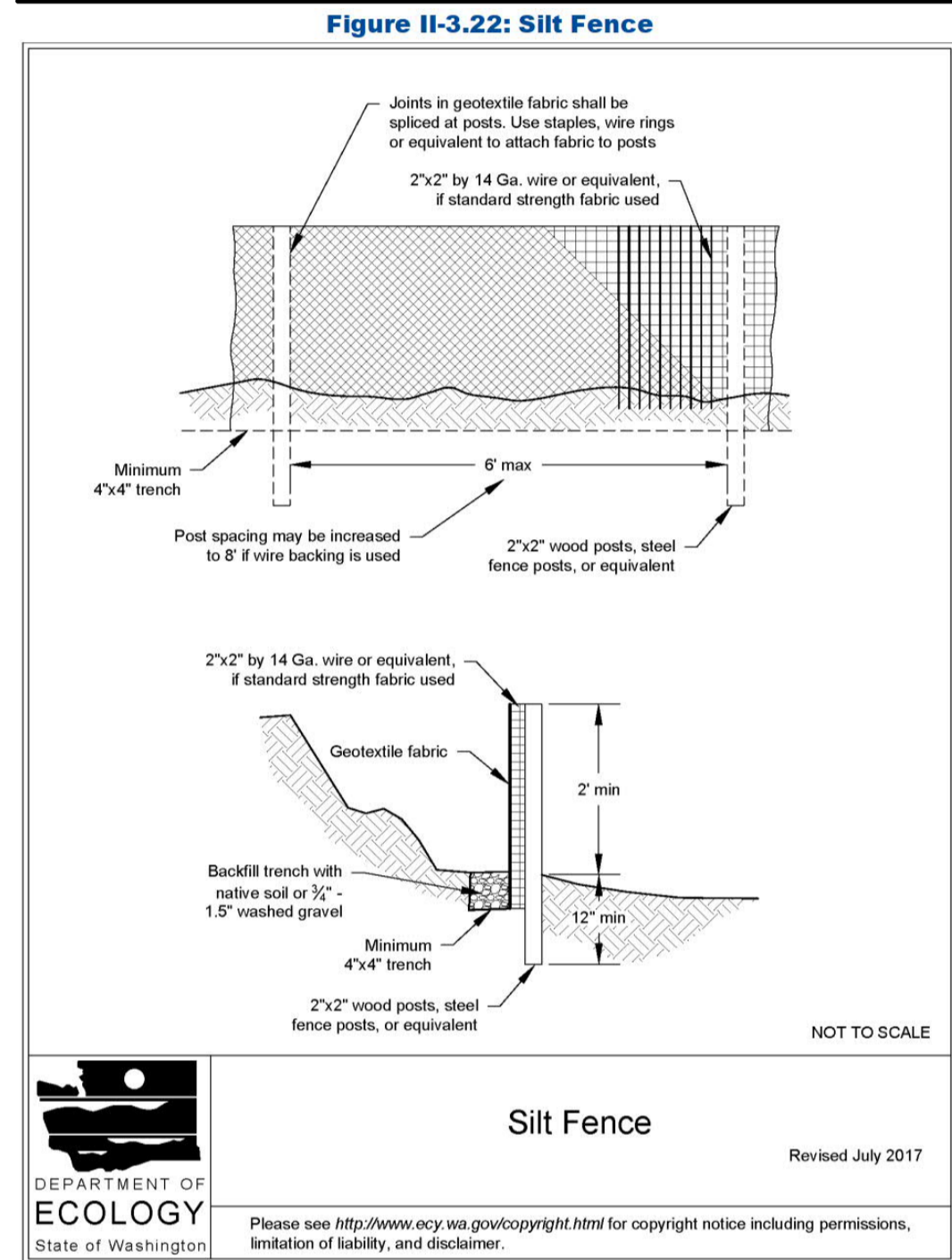


CIVIL ENGINEERING SOLUTIONS
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

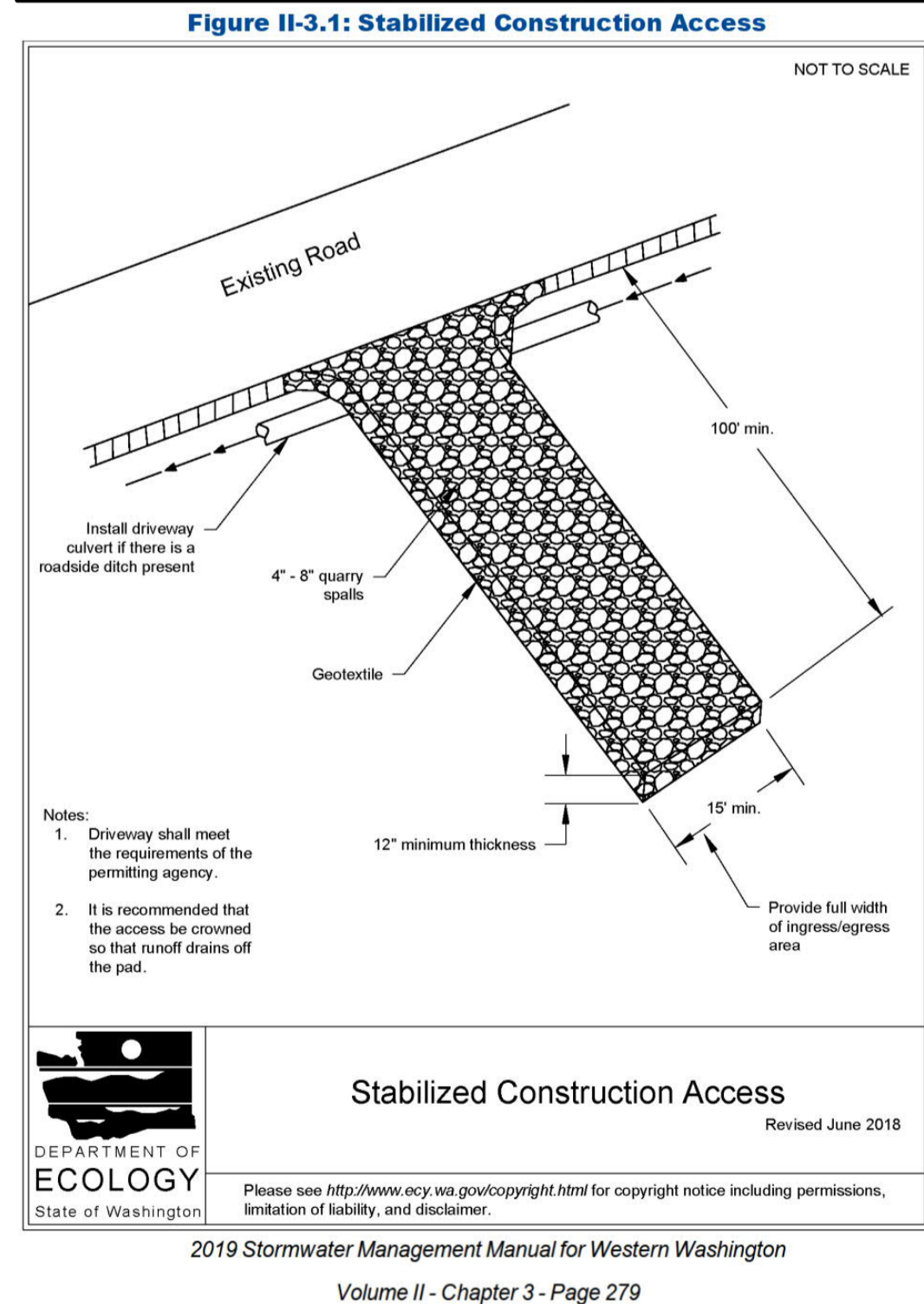
EROSION CONTROL PLAN
TREE RETENTION PLAN
CHEN RESIDENCE ADDITION
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO:
C1.0
APN 082405-9027
2005-081

SILT FENCE DETAIL DOE



CONSTRUCTION ENTRANCE DOE



RECOMMENDED CONSTRUCTION SEQUENCE

- A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:
- HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
 - POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
 - FLAG OR FENCE CLEARING LIMITS.
 - INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
 - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 - CONSTRUCT SEDIMENT PONDS AND TRAPS.
 - GRADE AND STABILIZE CONSTRUCTION ROADS.
 - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - RELOCATE SURFACE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.
 - COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
 - STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
 - SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPs IF APPROPRIATE.

DENUDED AREAS REQUIREMENTS

- APRIL 1 TO SEPT 30
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2
- OCT 1 TO MARCH 31
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
 - ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
 - COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
 - PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

EROSION CONTROL NOTES

- D.8.2 STANDARD ESC PLAN NOTES
THE STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS, AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RENUMBERED. FOR EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE RENUMBERED 1, 2, 4, 5, 6, ETC.
- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
 - THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
 - THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED. PRIOR TO CONSTRUCTION (SWDM APPENDIX D), DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
 - STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
 - THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
 - THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND.
 - THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
 - ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
 - ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
 - THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.
 - AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
 - ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
 - COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
 - PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

CITY NOTES

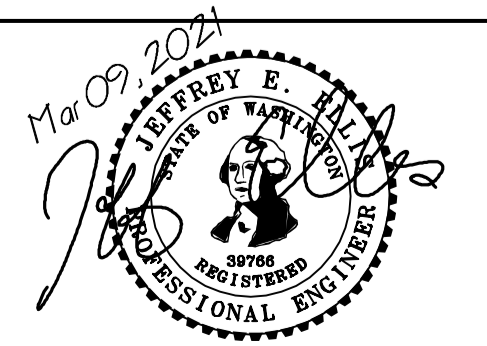
- ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
- APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
- CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
- CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES.
- AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1.800.424.5555
- DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED
- EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 96C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:
- PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT POND, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
- CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
- PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
- ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
- INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOLLERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
- OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
- POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.
- ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
- SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
- WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
- REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
- THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
- NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
- POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.

PERMIT #2005-081

NO.	DATE	BY	REVISIONS

APPLICANT
MN CUSTOM HOMES, JOE NASETH
1412 112TH AVE. NE, SUITE #104
BELLEVUE, WA 98004
PHONE: 206-353-5823

DATE: Mar 09, 2021
JOB#: 1933
DRAFTED: SS DESIGN: DE
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

TESC & CITY NOTES
TESC DETAILS
CHEN RESIDENCE ADDITION
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO:
C1.2
APN 082405-9027
2005-081

SANITARY SEWER IMPROVEMENTS

- 1
- 2
- 3
- 4
- 7

WATER IMPROVEMENTS

- 10
- 11
- 12
- 14

STORM DRAIN

- 20 4" STORM DRAIN (3034 PVC) @ MIN 2% GRADE
- 21 4" FOUNDATION DRAIN (3034 PVC) @ MIN 1% GRADE
- 22
- 23
- 24
- 25
- 26

STORM DRAIN STRUCTURES

- 30
- 31
- 32
- 33
- 34
- 35 18" YARD DRAIN OR EQUIVALENT (18" DIA HDPE PIPE WITH POURED IN PLACE CONCRETE BOTTOM, DURAFIBER SOLID LID)
- 36
- 39
- 40
- 41
- 43
- 46
- 47
- 48

STORM BMP's

- 50 DETAIL NDP-1; COMPOST AMENDED SOIL TO ALL DISTURBED AREAS (SEE DETAIL SHEET C3.5), TILL 2" OF COMPOST INTO UPPER 8" OF SOIL. LOOSEN COMPACTED SUBSOIL, IF NEEDED BY RIPPING TO 12" DEPTH. MULCH LANDSCAPE BEDS AFTER PLANTING.
- 51
- 52
- 53
- 54
- 55
- 57
- 58

PRIVATE PVC STORM STRUCTURES

- 10
- 11
- 12
- 13
- 14
- 15
- 16

SURVEYOR

TOPOGRAPHIC & BOUNDARY SURVEY BY:
 Informed land survey
 PO BOX 5137
 TACOMA, WA 98415-0137
 PHONE 253-627-2070
 admin@i-landsurvey.com
 www.i-landsurvey.com

VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN)
 SEE SURVEY

SOIL AMENDMENT REQUIRED

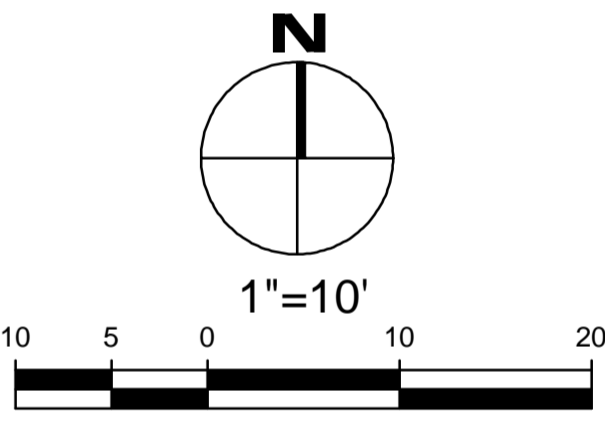
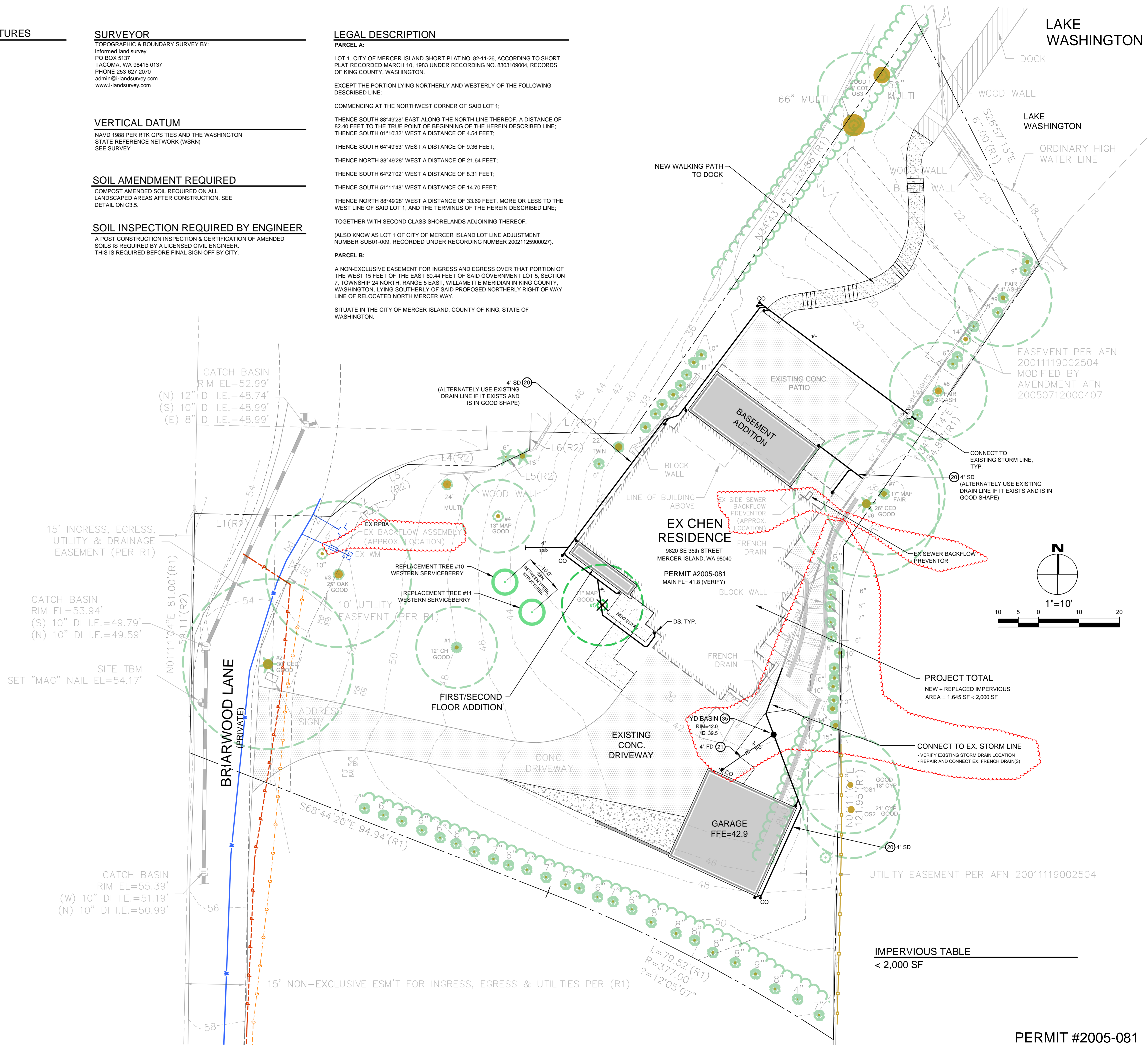
COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

LEGAL DESCRIPTION

PARCEL A:
 LOT 1, CITY OF MERCER ISLAND SHORT PLAT NO. 82-11-26, ACCORDING TO SHORT PLAT RECORDED MARCH 10, 1983 UNDER RECORDING NO. 8303109004, RECORDS OF KING COUNTY, WASHINGTON.
 EXCEPT THE PORTION LYING NORTHERLY AND WESTERLY OF THE FOLLOWING DESCRIBED LINE:
 COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1;
 THENCE SOUTH 88°49'28" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 82.40 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE;
 THENCE SOUTH 01°10'32" WEST A DISTANCE OF 4.54 FEET;
 THENCE SOUTH 64°49'53" WEST A DISTANCE OF 9.36 FEET;
 THENCE NORTH 88°49'28" WEST A DISTANCE OF 21.64 FEET;
 THENCE SOUTH 64°21'02" WEST A DISTANCE OF 8.31 FEET;
 THENCE SOUTH 51°11'48" WEST A DISTANCE OF 14.70 FEET;
 THENCE NORTH 88°49'28" WEST A DISTANCE OF 33.69 FEET, MORE OR LESS TO THE WEST LINE OF SAID LOT 1, AND THE TERMINUS OF THE HEREIN DESCRIBED LINE;
 TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING THEREOF;
 (ALSO KNOWN AS LOT 1 OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NUMBER SUB01-009, RECORDED UNDER RECORDING NUMBER 20021125900027).
PARCEL B:
 A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF THE WEST 15 FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN IN KING COUNTY, WASHINGTON, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY.
 SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.



PROJECT TOTAL
 NEW + REPLACED IMPERVIOUS AREA = 1,645 SF < 2,000 SF

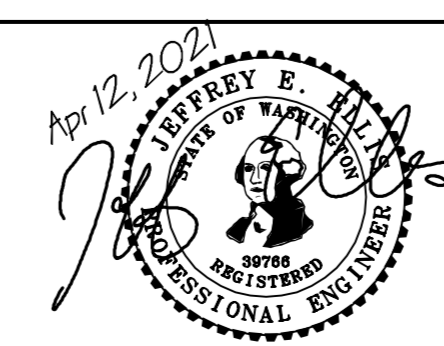
IMPERVIOUS TABLE
 < 2,000 SF

PERMIT #2005-081

NO.	DATE	BY	REVISIONS

APPLICANT
 MN CUSTOM HOMES: JOE NAISETH
 141212TH AVE. NE, SUITE #104
 BELLEVUE, WA 98004
 PHONE: 206-353-5823

DATE: Apr 12, 2021
 JOB#: 1933
 DRAFTED: DE DESIGN: DE
 DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS
 2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
 PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

DRAINAGE / CIVIL PLAN
 CHEN RESIDENCE ADDITION
 9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO:
C2.0
 APN 082405-9027
 2005-081

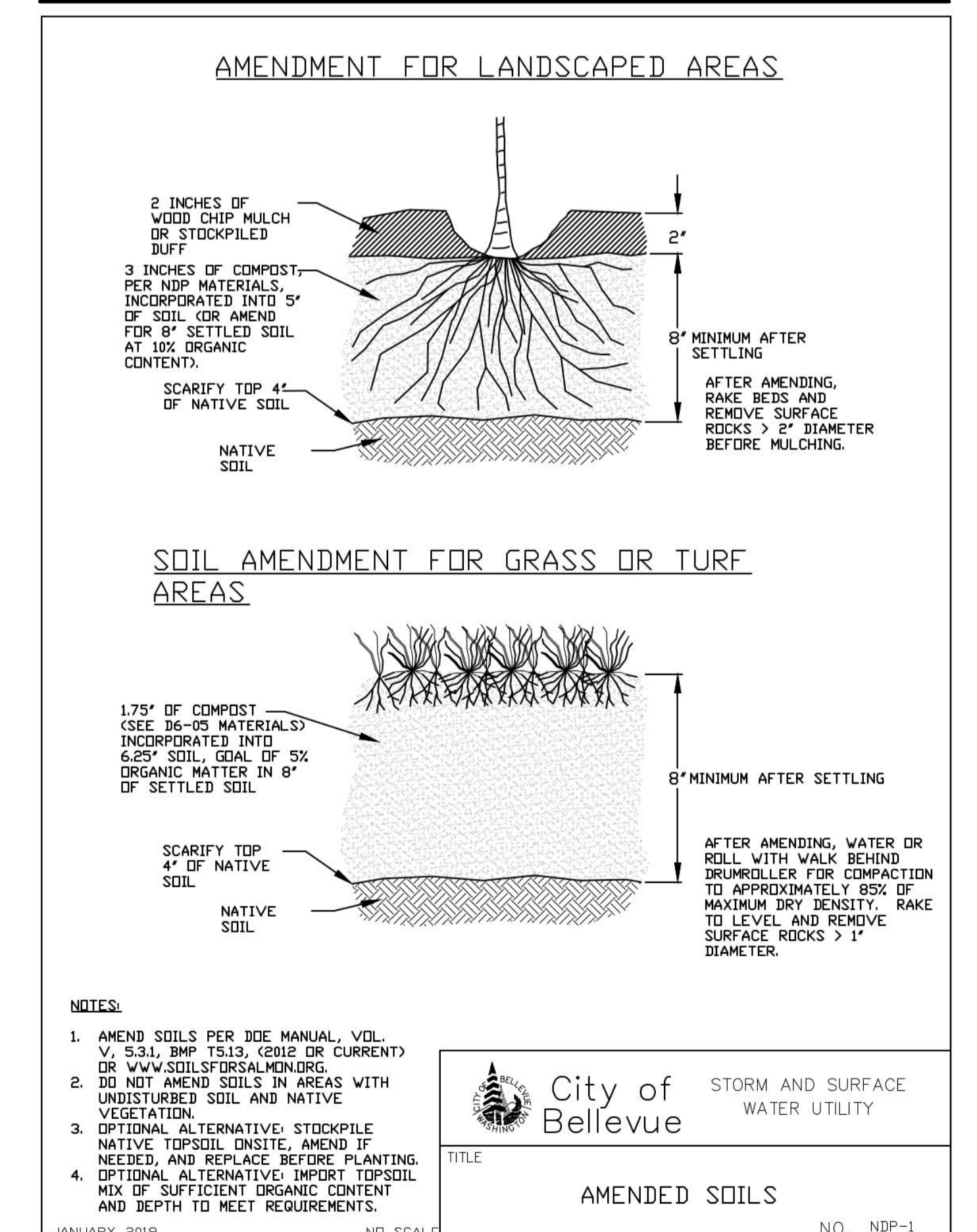
SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL BELOW.

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

COMPOST AMENDED SOIL SPEC

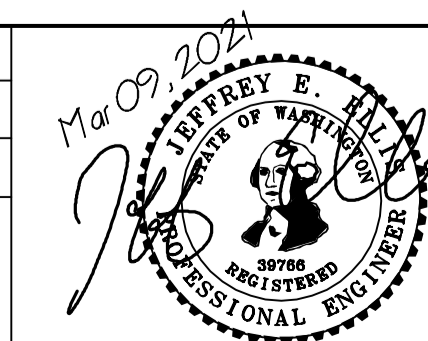


PERMIT #2005-081

NO.	DATE	BY	REVISIONS

APPLICANT
MN CUSTOM HOMES: JOE NAISETH
1412 112TH AVE. NE, SUITE #104
BELLEVUE, WA 98004
PHONE: 206-953-5823

DATE: Mar 09, 2021
JOB# 1933
DRAFTED: SS DESIGN: SS
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS

2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

BMP DETAILS

CHEN RESIDENCE ADDITION
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO:

C3.5

APN 082405-9027
2005-081

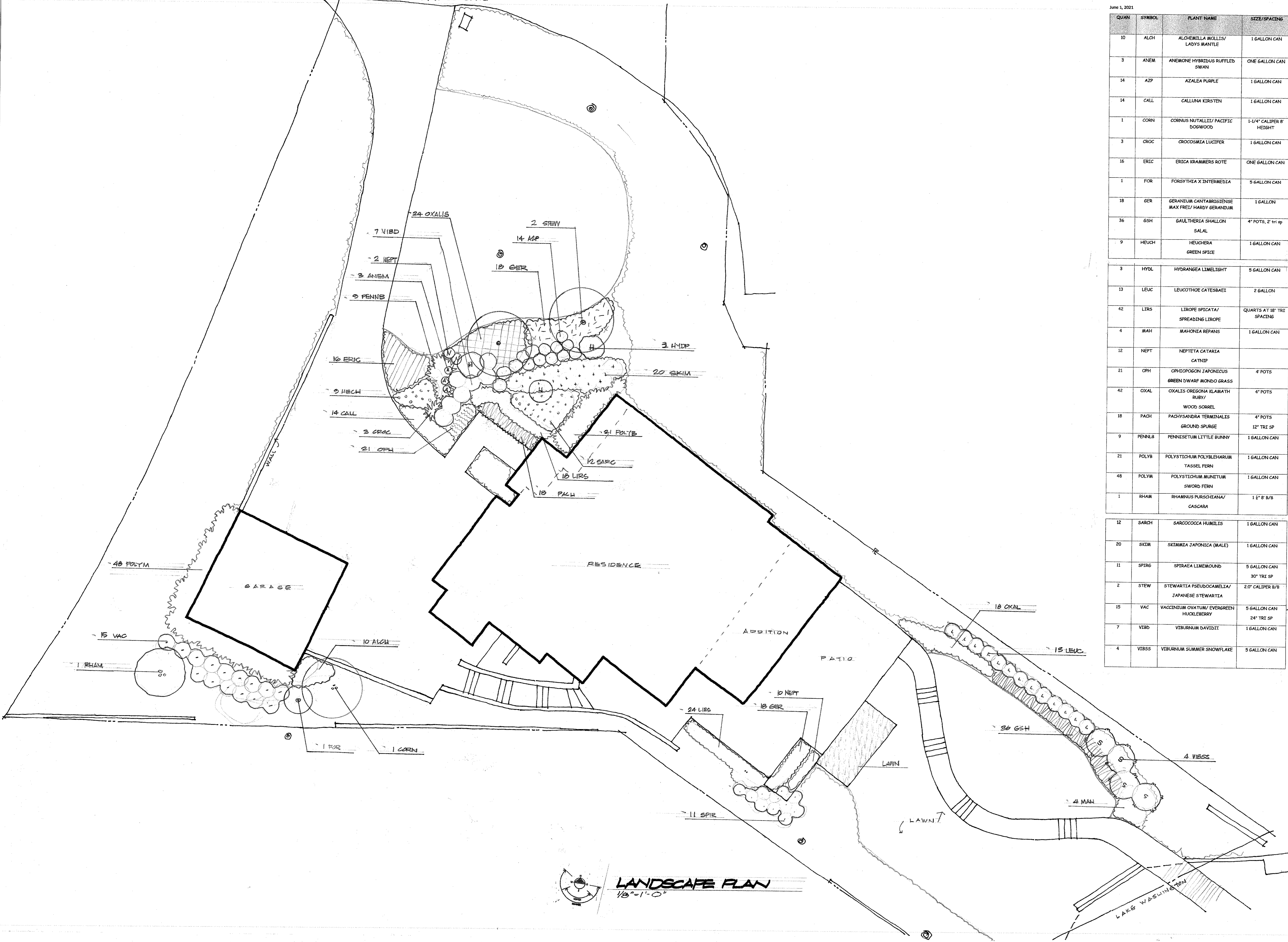
BRIARWOOD LANE

PLANT LIST
June 1, 2021

QUAN	SYMBOL	PLANT NAME	SIZE/SPACING
10	ALCH	ALCHEMILLA MOLLIS/ LADYS MANTLE	1 GALLON CAN
3	ANEM	ANEMONE HYBRIDUS RUFFLED SWAN	ONE GALLON CAN
14	AZP	AZALEA PURPLE	1 GALLON CAN
14	CALL	CALLUNA KIRSTEN	1 GALLON CAN
1	CORN	CORNUS NUTALLII/ PACIFIC DOGWOOD	1 1/4" CALIPER B' HEIGHT
3	CROC	CROCOSMIA LUCIFER	1 GALLON CAN
16	ERIC	ERICA KRAMMERS ROTE	ONE GALLON CAN
1	FOR	FORSYTHIA X INTERMEDIA	9 GALLON CAN
18	GER	GERANIUM CANTABRIGIENSE MAX FRET/ HARDY GERANIUM	1 GALLON
36	GSH	GAULTHERIA SHALLON SALAL	4" POTS, 2' Ht sp
9	HEUCH	HEUCHERA GREEN SPICE	1 GALLON CAN

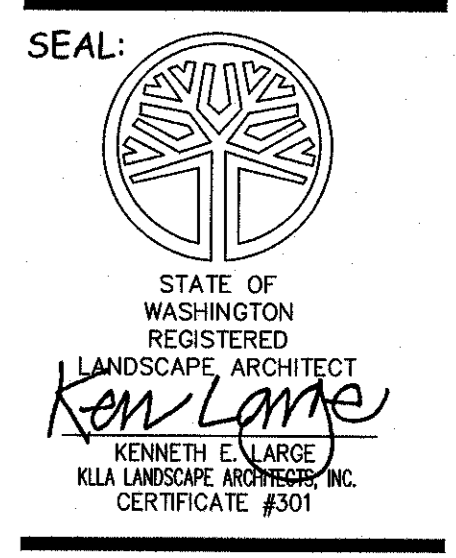
3	HYDL	HYDRANGEA LIMELIGHT	5 GALLON CAN
13	LEUC	LEUCOTHOE CATESBAEI	2 GALLON
42	LIRS	LIROPE SPICATA/ SPREADING LIROPE	QUARTS AT 18" TRI SPACING
4	MAH	MAHONIA REPANS	1 GALLON CAN
12	NEPT	NEPETA CATARIA CATNIP	
21	OPH	OPHIPOGON JAPONICUS GREEN DWARF MONDO GRASS	4" POTS
42	OXAL	OXALIS OREGONA KLAMATH RUBY/ WOOD SORREL	4" POTS
18	PACH	PACHYSANDRA TERMINALIS GROUND SPURGE	4" POTS 12" TRI SP
9	PENNLB	PENNISETUM LITTLE BUNNY	1 GALLON CAN
21	POLYB	POLYSTICHUM POLYBLEHARUM TASSEL FERN	1 GALLON CAN
48	POLYM	POLYSTICHUM MUNIUM SWORD FERN	1 GALLON CAN
1	RHAM	RHAMNUS PURSCHIANA/ CASCARA	1 1/2" B/B

12	SARGH	SARCOCOCCA HUMILIS	1 GALLON CAN
20	SKIM	SKIMMIA JAPONICA (MALE)	1 GALLON CAN
11	SPIRG	SPIRAEA LIMEMOUND	5 GALLON CAN 30" TRI SP
2	STEW	STEWARTIA PSEUDOCAMELIA/ JAPANESE STEWARTIA	20" CALIPER B/B
15	VAC	VACCINIUM OVATUM/ EVERGREEN HUCKLEBERRY	5 GALLON CAN 24" TRI SP
7	VIBD	VIBURNUM DAVIDII	1 GALLON CAN
4	VIBSS	VIBURNUM SUMMER SNOWFLAKE	5 GALLON CAN



LANDSCAPE PLAN
1/8" = 1'-0"

KEN LARGE
Landscape Architect
21803 NE 17th Court
Somerset, Wa. 98074
Office: 425-836-4578, Cell: 206-396-7617
E-mail: kila@comcast.net
FAX: 425-896-8923



PROJECT / CLIENT:
9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB NUMBER:
DRAWN: KEL
CHECKED:
DATE: June 1, 21
REVISIONS:

SHEET TITLE:
LANDSCAPE PLAN

PERMIT SET
SHEET NUMBER:

L-1.0

TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

PARCEL A:

LOT 1, CITY OF MERCER ISLAND SHORT PLAT NO. 82-11-26, ACCORDING TO SHORT PLAT RECORDED MARCH 10, 1983 UNDER RECORDING NO. 8303109004, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE PORTION LYING NORTHERLY AND WESTERLY OF THE FOLLOWING DESCRIBED LINE: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1;

THENCE SOUTH 88°49'28" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 82.40 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE SOUTH 01°10'32" WEST A DISTANCE OF 4.54 FEET;

THENCE SOUTH 64°49'53" WEST A DISTANCE OF 9.36 FEET;

THENCE NORTH 88°49'28" WEST A DISTANCE OF 21.64 FEET;

THENCE SOUTH 64°21'02" WEST A DISTANCE OF 8.31 FEET;

THENCE SOUTH 51°11'48" WEST A DISTANCE OF 14.70 FEET;

THENCE NORTH 88°49'28" WEST A DISTANCE OF 33.69 FEET, MORE OR LESS TO THE WEST LINE OF SAID LOT 1, AND THE TERMINUS OF THE HEREIN DESCRIBED LINE;

TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING THEREOF;

(ALSO KNOWN AS LOT 1 OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NUMBER SUB01-009, RECORDED UNDER RECORDING NUMBER 20021125900027).

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF THE WEST 15 FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN IN KING COUNTY, WASHINGTON, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

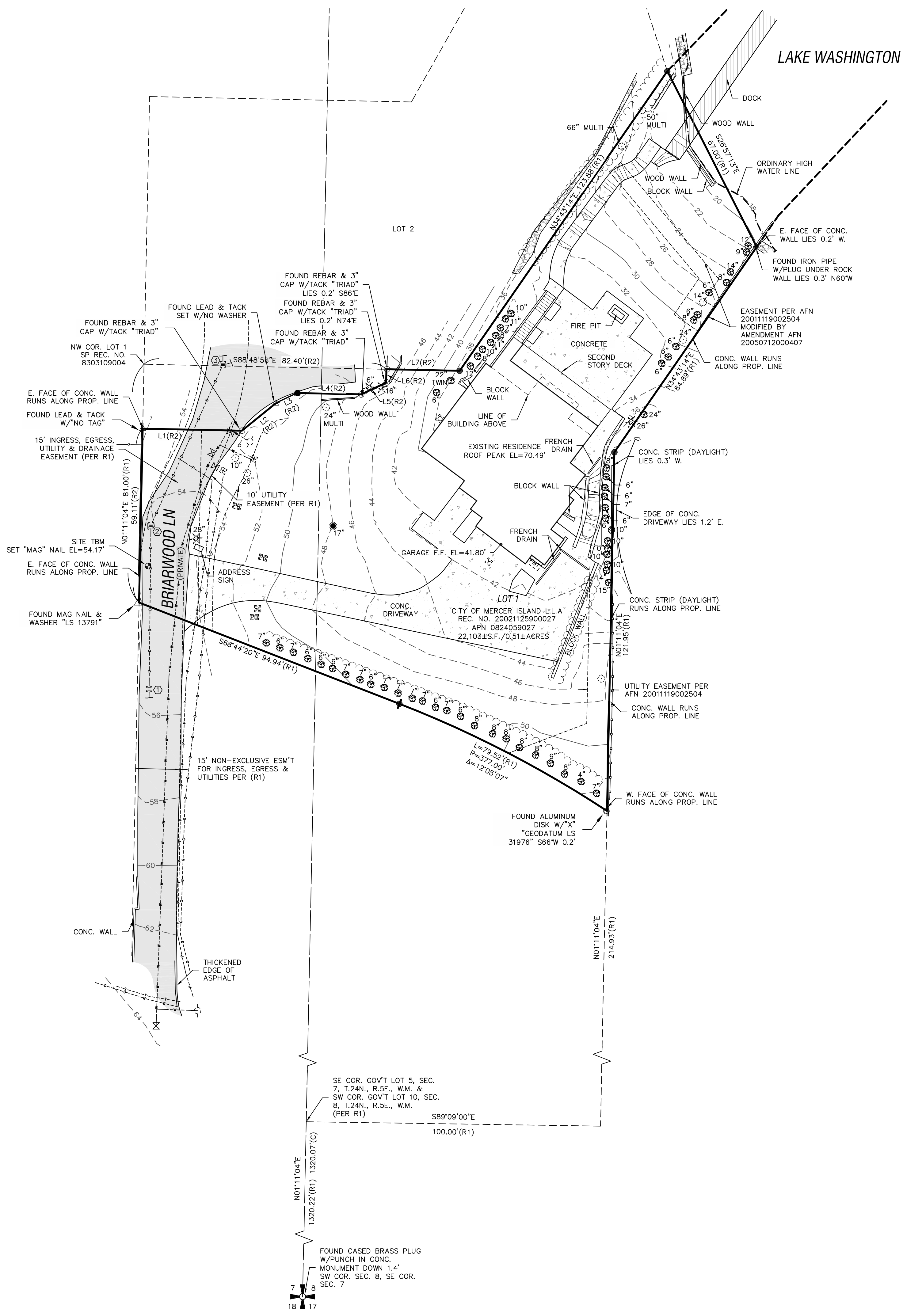
SCHEDULE B

(PER TITLE REPORT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 4202-2978598, DATED MARCH 14, 2018 AT 7:30 AM)

- EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDED: MAY 05, 1931 RECORDING INFORMATION: 2670081 IN FAVOR OF: PUGET SOUND POWER & LIGHT COMPANY FOR: ELECTRIC TRANSMISSION LINE SURVEYOR'S NOTE: PORTION OF EASEMENT LOCATED OVER SUBJECT PARCEL ABANDONED AND RELEASED BY PARTIAL RELEASE OF EASEMENT RECORDING NUMBER 9906100311, RECORDS OF KING COUNTY RECORDER'S OFFICE.
- EASEMENT, INCLUDING TERMS AND CONDITIONS CONTAINED THEREIN: GRANTED TO: MERCER ISLAND SEWER DISTRICT FOR: SEWER PIPELINE OR LINES AND ALL NECESSARY CONNECTIONS AND APPURTENANCES HERETO RECORDED: JULY 09, 1989 RECORDING INFORMATION: 5179425 AND 5179426 SURVEYOR'S NOTE: THESE ITEMS AFFECT THE PROPERTY, EASEMENT LIES FIVE FEET ON EACH SIDE OF THE SEWER LINE AS CONSTRUCTED, NOT SHOWN ON MAP.
- ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY WOODSON SHORT SUBDIVISION FILE NO. M-82-11-26 RECORDED UNDER RECORDING NUMBER 8303109004.
- SIDE SEWER EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: LOCATION: ALONG THE LINE AS CONSTRUCTED WIDTH: UNDISCLOSED RECORDING NO.: #40480412 SURVEYOR'S NOTE: DOCUMENT PERTAINS TO THE MAINTENANCE OF SEWER FACILITIES LOCATED IN SEWER EASEMENT SHOWN ON MERCER ISLAND SHORT SUBDIVISION RECORDING NUMBER 198303109004, NOT SHOWN ON MAP.
- EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDED: MAY 04, 1984 RECORDING INFORMATION: 840504140 IN FAVOR OF: PUGET SOUND POWER AND LIGHT COMPANY, A WASHINGTON CORPORATION FOR: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM SURVEYOR'S NOTE: THIS ITEM AFFECTS THE PARCEL EASEMENT LIES FIVE FEET ON EACH SIDE OF THE UNDERGROUND POWER LINES AS CONSTRUCTED WITHIN THE WEST 20.00 FEET OF THE PARCEL, NOT SHOWN ON MAP.
- GRANT AND AGREEMENT OF UNDERGROUND UTILITY EASEMENT AND THE TERMS AND CONDITIONS THEREOF: BETWEEN: RALPH E. SEIGEL AND ALICIA A. SEIGEL, HUSBAND AND WIFE AND: JAMES K. LEE AND MIMI D. LEE, HUSBAND AND WIFE RECORDING INFORMATION: 2001119002504 MODIFICATION AND/OR AMENDMENT BY INSTRUMENT: RECORDED: JULY 12, 2005 RECORDING INFORMATION: 20050712000407 SURVEYOR'S NOTE: EASEMENTS SHOWN ON MAP.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RELINQUISHMENT AND SURRENDER OF EASEMENT RIGHTS AND INTERESTS" RECORDED: NOVEMBER 25, 2002 RECORDING NO.: 20021125900027 SURVEYOR'S NOTE: THIS DOCUMENT RELINQUISHES A PORTION OF THE INGRESS, EGRESS, UTILITIES AND DRAINAGE EASEMENT SHOWN OVER THE EASTERLY PORTION OF LOT 1 OF CITY OF MERCER ISLAND SHORT PLAT, RECORDING NUMBER 198303109004.

SURVEYOR'S NOTES

- THE PURPOSE OF THIS SURVEY IS TO DETERMINE THE LOCATION OF THE BOUNDARIES AND PROVIDE TOPOGRAPHIC INFORMATION OF THE PARCEL AS DESCRIBED HEREON.
- THIS SURVEY WAS MADE BY FIELD TRAVERSE USING A LEICA 1203 3" ROBOTIC TOTAL STATION AND DS14RTK GPS WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY STANDARDS AS SET FORTH BY WAC 332-130.
- THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
- THE LEGAL DESCRIPTION IS PER RECORDS OF KING COUNTY RECORDER'S OFFICE, RECORDING NO. 20190419000135, DATED APRIL 19, 2019. A TITLE REPORT HAS NOT BEEN PROVIDED AT THIS TIME. THEREFORE NO INVESTIGATION WAS DONE PERTAINING TO EXISTING ENCUMBRANCES RELATING TO THE SUBJECT PARCEL SHOWN AND DESCRIBED HEREON.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED IN MARCH, 2020 AND IS THEREFORE A REFLECTION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTS WERE VISITED OR SET IN MARCH, 2020. THIS SITE CONTAINS IMPROVEMENTS NOT LOCATED OR SHOWN AS A PART OF THIS SURVEY.
- THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.



HORIZONTAL DATUM

NAD 1983(2011); PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

REFERENCE SURVEYS

- CITY OF MERCER ISLAND SHORT PLAT, RECORDING NO. 8303109004
- CITY OF MERCER ISLAND LOT LINE ADJUSTMENT, RECORDING NO. 20021125900027

RECORDS OF KING COUNTY RECORDER'S OFFICE

LEGEND

- ✦ FOUND SECTION CORNER (AS SHOWN)
- SET REBAR & CAP EMW LS #44651
- FOUND REBAR & CAP "TRIAD"
- △ FOUND LEAD W/TACK
- FOUND IRON PIPE (AS SHOWN)
- SET "MAG" NAIL SITE TEMPORARY BENCHMARK (TBM)
- ⊙ GUARD POST
- ⊙ GAS METER
- ⊙ POWER METER
- ⊙ POWER PULL BOX
- ⊙ STORM DRAIN CATCH BASIN
- ⊙ YARD DRAIN
- ⊙ SEWER MANHOLE
- ⊙ IRRIGATION CONTROL BOX
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ DECIDUOUS TREE
- ⊙ CEDAR TREE
- ⊙ EVERGREEN TREE
- (R) DISTANCE PER REFERENCE
- (L) DISTANCE AS CALCULATED
- LS LICENSED LAND SURVEYOR
- ASPHALT SURFACE
- CONCRETE SURFACE
- ROCKERY

LINE TYPE LEGEND

- WOOD FENCE
- GAS LINE
- STORM DRAIN LINE
- EDGE OF VEGETATION
- POWER LINE
- WATER LINE
- ORDINARY HIGH WATER LINE

STORM DRAIN STRUCTURE TABLE

- CATCH BASIN
RIM EL=55.39'
(W) 10" DI I.E.=51.19'
(N) 10" DI I.E.=50.99'
- CATCH BASIN
RIM EL=53.94'
(S) 10" DI I.E.=49.79'
(N) 10" DI I.E.=49.59'
- CATCH BASIN
RIM EL=52.99'
(N) 12" DI I.E.=48.74'
(S) 10" DI I.E.=48.99'
(E) 8" DI I.E.=48.99'

LINE TABLE

LINE	BEARING	DISTANCE
1	S88°49'28" E	82.40
2	S01°10'32" W	4.54
3	S64°49'53" W	9.36
4	N88°49'28" W	21.64
5	S64°21'02" W	8.31
6	S51°11'48" W	14.70
7	N88°49'28" W	33.69
8	S01°10'32" W	4.54
9	S64°49'53" E	9.36

NOTE:
THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE, TYPE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION AND INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES.
Call Before You Dig
1-800-424-5555

SHT. 1 OF 1

MERCER ISLAND, KING COUNTY, WA

FOR: MARY CHEN

CHECKED: EMW
DATE: 9/28/2020
JOB NO.: CEMM20024
FIELD CREW: DF, TM

DRAFTED: JR
DATE: 9/28/2020
SCALE: 1"=20'

TOPOGRAPHIC SURVEY

9820 SE 35TH PL
MERCER ISLAND, WA 98040
TAX PARCEL NO. 0824059027

informed land survey
P.O. Box 5137
Tacoma, WA 98415-0137
Phone: 252-627-2070
admin@informedland.com
www.informedland.com

LAND SURVEYING - MAPPING - CONSTRUCTION LAYOUT



**City of Mercer Island
Development Services**

9611 SE 36th Street
Mercer Island, WA 98040
Inspection Request Line 236-3587
General Information 236-5300

BUILDING PERMIT

SF ADD

Permit No. 9908-047

Project No.

Main Permit No.

Site Address: 9820 SE 35TH PL	Valuation: 84,444.00	Parcel No. 824059027
Owner: SIEGEL RALPH E+ALICIA A	Description of Work: 1110 SF ADDITION TO EXISTING HOME & REMODEL	
Mailing Address: 9820 SE 35TH PL Mercer Island WA 98040		
Phone: (206)232-1127		

Legal Description

Lot:	Block:	Plat:
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Contractor: MILLER & MILLER	Address:
Phone: (425)644-2253	State Contractor Lic: MILLEMC0550L MI Business Lic#:

Type of Const.: BUILDING	Occ Load:	No. Stories: 0.00	Map Loc.:
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Sprinkler Req'd:	Reason:	Building SF: 0.00	Decks SF: 0.00
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Fire Alarm Req'd:	Reason:	Garage SF: 0.00	Total SF:
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Associated Permits:

FEES	Receipt # & Date	Comments
Surcharge	4.50 50738 10/1/1999	
Building Permit Fee	834.15 50738 10/1/1999	
Land Clearing	55.00 50738 10/1/1999	
Energy Code	55.00 50738 10/1/1999	
Plan Check Deposit	632.29 49875 8/6/1999	
	1/1/-4713	
	1/1/-4713	
	1/1/-4713	
	1/1/-4713	
	1/1/-4713	
	1/1/-4713	
TOTAL FEE	\$ 1,580.94	
TOTAL FEES PAID	\$ 1,580.94	
TOTAL FEES DUE	\$ 0.00	

Permit expires if work is not commenced within 180 days or ceases for more than 180 days. The City of Mercer Island is not responsible for reviewing the applicability of private covenants to this permit. Compliance with private plat covenants is the sole responsibility of the applicant/owner.

Signature of Owner/Contractor/Authorized Agent

Date

FILE COPY

Project No.
Main Permit No.
Permit No. 9908-047



**City of Mercer Island
Development Services**

9611 SE 36th Street
Mercer Island, WA 98040
Inspection Request Line 236-3587
General Information 236-5300

BUILDING PERMIT

SF ADD

Permit No. 9908-047

Project No.

Main Permit No.

Site Address: 9820 SE 35TH PL	Valuation: 84,444.00	Parcel No. 824059027
Owner: SIEGEL RALPH E+ALICIA A	Description of Work: REVISION 11/15/99	
Mailing Address: 9820 SE 35TH PL Mercer Island WA 98040		
Phone: (206)232-1127		

Legal Description

Lot:	Block:	Plat:
------	--------	-------

Contractor: MILLER & MILLER	Address:
Phone: (425)644-2253	State Contractor Lic: MILLEMC0550L MI Business Lic#:

Type of Const.: BUILDING	Occ Load:	No. Stories: 0.00	Map Loc.:
Sprinkler Req'd:	Reason:	Building SF: 0.00	Decks SF: 0.00
Fire Alarm Req'd:	Reason:	Garage SF: 0.00	Total SF:

Associated Permits:

FEES		Receipt # & Date		Comments
Surcharge	4.50	50738	10/1/99	
Building Permit Fee	834.15	50738	10/1/99	
Land Clearing	55.00	50738	10/1/99	
Energy Code	55.00	50738	10/1/99	
Plan Check Deposit	632.29	49875	8/6/99	
Bldg. Revision Fee	47.00	51430	11/15/99	
Bldg. Revision Fee	150.00	51814	12/8/99	
TOTAL FEE	\$ 1,777.94			
TOTAL FEES PAID	\$ 1,777.94			
TOTAL FEES DUE	\$ 0.00			

Permit expires if work is not commenced within 180 days or ceases for more than 180 days. The City of Mercer Island is not responsible for reviewing the applicability of private covenants to this permit. Compliance with private plat covenants is the sole responsibility of the applicant/owner.


Signature of Owner/Contractor/Authorized Agent

12-8-99
Date

FILE COPY

Project No.
Main Permit No.
Permit No. 9908-047

EASEMENTS:

1. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: PUGET SOUND POWER & LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION LINE
AREA AFFECTED: THE EAST 10 FEET OF THE WEST 100 FEET OF GOVERNMENT LOT 10, SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. MAY 5, 1931
RECORDED: MAY 5, 1931
RECORDING NUMBER: 2670081

EASEMENT ABANDONED
RECORDING # 8303109004
6-3-99

2. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: MERCER ISLAND SEWER DISTRICT
PURPOSE: SEWER PIPELINE OR LINES AND ALL NECESSARY CONNECTIONS AND APPURTENANCES HERETO
AREA AFFECTED: AS CONSTRUCTED OVER SECOND CLASS SHORELANDS ADJOINING THAT PORTION OF SAID PREMISES LYING IN GOVERNMENT LOT 10
RECORDED: JULY 8, 1960
RECORDING NUMBER: 5179425

3. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: PUGET SOUND POWER & LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM
AREA AFFECTED: A 10 FOOT STRIP WITHIN THE WEST 20 FEET OF LOT 1
RECORDED: MAY 4, 1984
RECORDING NUMBER: 8405041140

4. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER 82-11-26 UNDER RECORDING NUMBER 8303109004:

PURPOSE: INGRESS AND EGRESS, UTILITIES AND DRAINAGE
AREA AFFECTED: 15 FEET WIDE AS DELINEATED ON SAID SHORT PLAT (NOT PLOTTABLE)

5. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER 82-11-26 UNDER RECORDING NUMBER 8303109004:

PURPOSE: UTILITIES
AREA AFFECTED: 10 FEET WIDE LYING SOUTHERLY AND EASTERLY OF THE 15 FOOT WIDE EASEMENT EASEMENT

6. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER 82-11-26 UNDER RECORDING NUMBER 8303109004:

PURPOSE: UTILITIES
AREA AFFECTED: 10 FEET WIDE LYING SOUTHERLY AND EASTERLY OF THE 15 FOOT WIDE EASEMENT EASEMENT

UNDERGROUND UTILITIES:
Locate all utilities prior to any excavation. Do not build over the side sewer.

- SEPARATE PERMIT REQUIRED FOR:
[] Side Sewer
[] Water Meter
[] Street Use
[] Rockery/Retaining Wall
[] Grading
[] Other

LEGAL DESCRIPTION:

LOT 1, CITY OF MERCER ISLAND SHORT PLAT NUMBER 82-11-26, RECORDED UNDER RECORDING NUMBER 8303109004, IN KING COUNTY, WASHINGTON, SAID SHORT PLAT DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON; THENCE WEST ALONG THE SOUTH LINE OF LOT 5, 60.44 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5 TO THE GOVERNMENT MEANDER LINE ON THE SHORE OF LAKE WASHINGTON; THENCE ALONG SAID MEANDER LINE IN AN EASTERLY DIRECTION TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 5; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 5 TO THE POINT OF BEGINNING; TOGETHER WITH SECOND CLASS SHORE LANDS ADJOINING;

AND THAT PORTION OF GOVERNMENT LOT 10, SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON AND OF THE SHORE LANDS APPURTENANT THERETO LYING WESTERLY AND NORTHWESTERLY OF THE FOLLOWING DESCRIBED LINE:

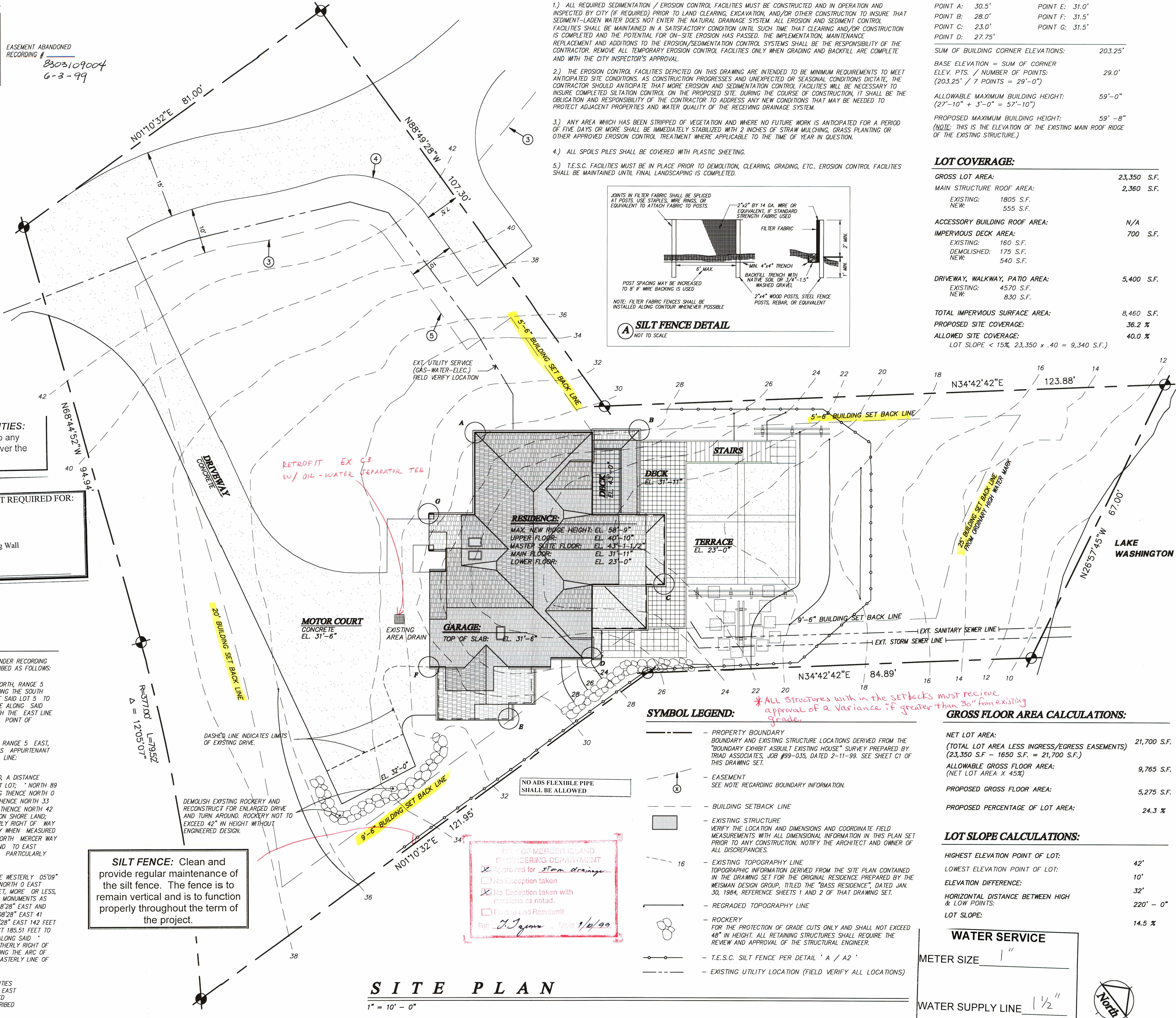
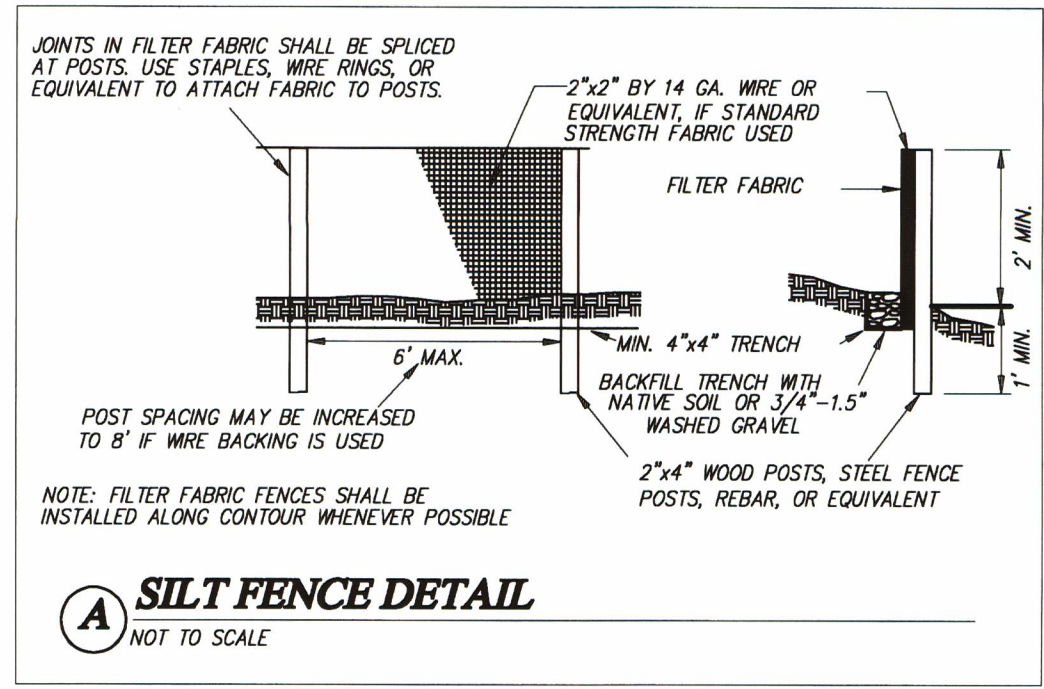
BEGINNING AT AN IRON PIPE ON THE SOUTH LINE OF SAID GOVERNMENT LOT 10, A DISTANCE 45°05' EAST 100.00 FEET FROM THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT; * NORTH 89°05'09" EAST PARALLEL WITH THE WEST LINE OF SAID LOT AND * AND RUNNING THENCE NORTH 0°37'19" * 100.00 FEET DISTANCE THEREFROM 336.88 FEET TO AN IRON PIPE; THENCE NORTH 33°13'16" EAST AT RIGHT ANGLES TO THE * EAST 97.89 FEET TO AN IRON PIPE; THENCE NORTH 42° MEANDER LINE IN SAID LOT TO THE OUTER BOUNDARY OF THE LAKE WASHINGTON SHORE LAND; EXCEPT THAT PORTION THEREOF LYING SOUTHERLY OF THE PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY, SAID LINE BEING 35 FEET NORTHERLY WHEN MEASURED AT RIGHT ANGLES AND/OR RADIALLY FROM THE SURVEY LINE OF RELOCATED NORTH MERCER WAY OF PRIMARY STATE HIGHWAY NUMBER 2 (SR90), WEST SHORE OF MERCER ISLAND TO EAST CHANNEL BRIDGE, SAID PROPOSED NORTHERLY RIGHT OF WAY LINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 5; THENCE WESTERLY 05°09" * ALONG THE SOUTH LINE OF LOT 5 FOR A DISTANCE OF 60.44 FEET; THENCE NORTH 0° EAST PARALLEL WITH THE EAST LINE OF SAID LOT 5 FOR A DISTANCE OF 470.00 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY EXTENSION OF A LINE OF CONCRETE MONUMENTS AS ESTABLISHED BY JONES, BASSI & ASSOCIATES, ENGINEERS AND SURVEYORS, 08°28' EAST AND SAID MONUMENT * THE BEARING OF SAID MONUMENT LINE BEING NORTH 63°08'28" EAST 41 FEET DISTANT, MORE OR LESS, AND NORTH 63° * BEING LOCATED NORTH 63°08'28" EAST 142 FEET DISTANT, MORE OR LESS, ALONG SAID MONUMENT LINE FROM SAID 05°09' WEST 185.51 FEET TO AN INTERSECTION WITH SAID * INTERSECTION; THENCE SOUTH 0°47'07" EAST ALONG SAID * PROPOSED NORTHERLY RIGHT OF WAY LINE; THENCE SOUTH 69° PROPOSED NORTHERLY RIGHT OF WAY LINE 84.94 FEET TO A POINT OF CURVATURE TO THE * RIGHT; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 377 FEET TO AN INTERSECTION WITH THE EASTERLY LINE OF THE FOREGOING DESCRIBED TRACT;

TOGETHER WITH AN NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND UTILITIES OVER AND ACROSS AND UNDER THAT PORTION OF THE WEST 15 FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY AS DESCRIBED ABOVE.

TEMPORARY EROSION/SEDIMENTATION CONTROL NOTES:

- 1.) ALL REQUIRED SEDIMENTATION / EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION AND INSPECTED BY CITY (IF REQUIRED) PRIOR TO LAND CLEARING, EXCAVATION, AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THE EROSION/SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REMOVE ALL TEMPORARY EROSION CONTROL FACILITIES ONLY WHEN GRADING AND BACKFILL ARE COMPLETE AND WITH THE CITY INSPECTOR'S APPROVAL.
2.) THE EROSION CONTROL FACILITIES DEPICTED ON THIS DRAWING ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE CONTRACTOR SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES WILL BE NECESSARY TO INSURE COMPLETED SILTATION CONTROL ON THE PROPOSED SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM.
3.) ANY AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FUTURE WORK IS ANTICIPATED FOR A PERIOD OF FIVE DAYS OR MORE SHALL BE IMMEDIATELY STABILIZED WITH 2 INCHES OF STRAW MULCHING, GRASS PLANTING OR OTHER APPROVED EROSION CONTROL TREATMENT WHERE APPLICABLE TO THE TIME OF YEAR IN QUESTION.
4.) ALL SPOILS PILES SHALL BE COVERED WITH PLASTIC SHEETING.
5.) T.E.S.C. FACILITIES MUST BE IN PLACE PRIOR TO DEMOLITION, CLEARING, GRADING, ETC. EROSION CONTROL FACILITIES SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS COMPLETED.



SILT FENCE: Clean and provide regular maintenance of the silt fence. The fence is to remain vertical and is to function properly throughout the term of the project.

OFFICE OF MERCER ISLAND ENGINEERING DEPARTMENT
Approved for storm drainage
No description taken
No exception taken with revisions as noted.
Permits and Resubmit
By: [Signature] Date: 9/4/99

NO ADS FLEXIBLE PIPE SHALL BE ALLOWED

* ALL structures with in the setbacks must receive approval of a Variance if greater than 30" from existing grade.

SYMBOL LEGEND:

- PROPERTY BOUNDARY
BOUNDARY AND EXISTING STRUCTURE LOCATIONS DERIVED FROM THE "BOUNDARY EXHIBIT ASBUILT EXISTING HOUSE" SURVEY PREPARED BY TRAD ASSOCIATES, JOB #99-035, DATED 2-11-99. SEE SHEET C1 OF THIS DRAWING SET.
EASEMENT
SEE NOTE REGARDING BOUNDARY INFORMATION.
BUILDING SETBACK LINE
EXISTING STRUCTURE
VERIFY THE LOCATION AND DIMENSIONS AND COORDINATE FIELD MEASUREMENTS WITH ALL DIMENSIONAL INFORMATION IN THIS PLAN SET PRIOR TO ANY CONSTRUCTION. NOTIFY THE ARCHITECT AND OWNER OF ALL DISCREPANCIES.
EXISTING TOPOGRAPHY LINE
TOPOGRAPHIC INFORMATION DERIVED FROM THE SITE PLAN CONTAINED IN THE DRAWING SET FOR THE ORIGINAL RESIDENCE PREPARED BY THE WEISMAN DESIGN GROUP, TITLED THE "BASS RESIDENCE", DATED JAN. 30, 1984, REFERENCE SHEETS 1 AND 2 OF THAT DRAWING SET.
REGRADED TOPOGRAPHY LINE
ROCKERY
FOR THE PROTECTION OF GRADE CUTS ONLY AND SHALL NOT EXCEED 48" IN HEIGHT. ALL RETAINING STRUCTURES SHALL REQUIRE THE REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER.
T.E.S.C. SILT FENCE PER DETAIL 'A / A2'
EXISTING UTILITY LOCATION (FIELD VERIFY ALL LOCATIONS)

BUILDING HEIGHT CALCULATIONS:

Table with columns for Point (A-G), Elevation, and Calculations. Includes sums of building corner elevations and allowable/proposed maximum building heights.

LOT COVERAGE:

Table with columns for Category (Gross Lot Area, Main Structure Roof Area, etc.) and Value. Includes percentages for site coverage and allowed site coverage.

GROSS FLOOR AREA CALCULATIONS:

Table with columns for Metric (Net Lot Area, Allowable Gross Floor Area, etc.) and Value. Shows proposed gross floor area and percentage of lot area.

LOT SLOPE CALCULATIONS:

Table with columns for Metric (Highest/Lowest Elevation Point, Elevation Difference, etc.) and Value. Shows lot slope and horizontal distance between high and low points.

WATER SERVICE

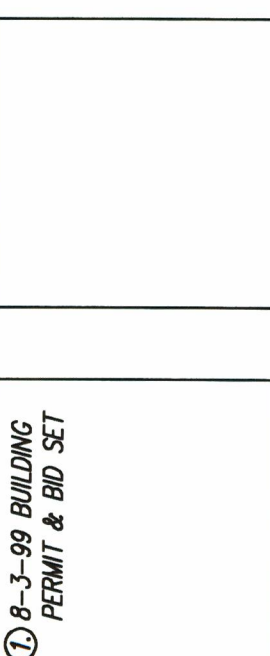
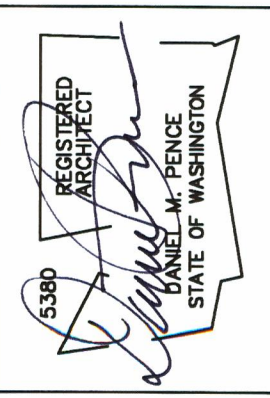
METER SIZE 1"

WATER SUPPLY LINE 1 1/2"

Check existing in field
Possible Upsize needed

S I T E P L A N

1" = 10' - 0"



The Pence Associates ARCHITECTS
2200 25th Street S.E.
Edmonton, Washington 98021
Phone (206) 915-4882

Siegel Residence
Mercer Island, Washington

Site Plan

August 3, 1999



A-2