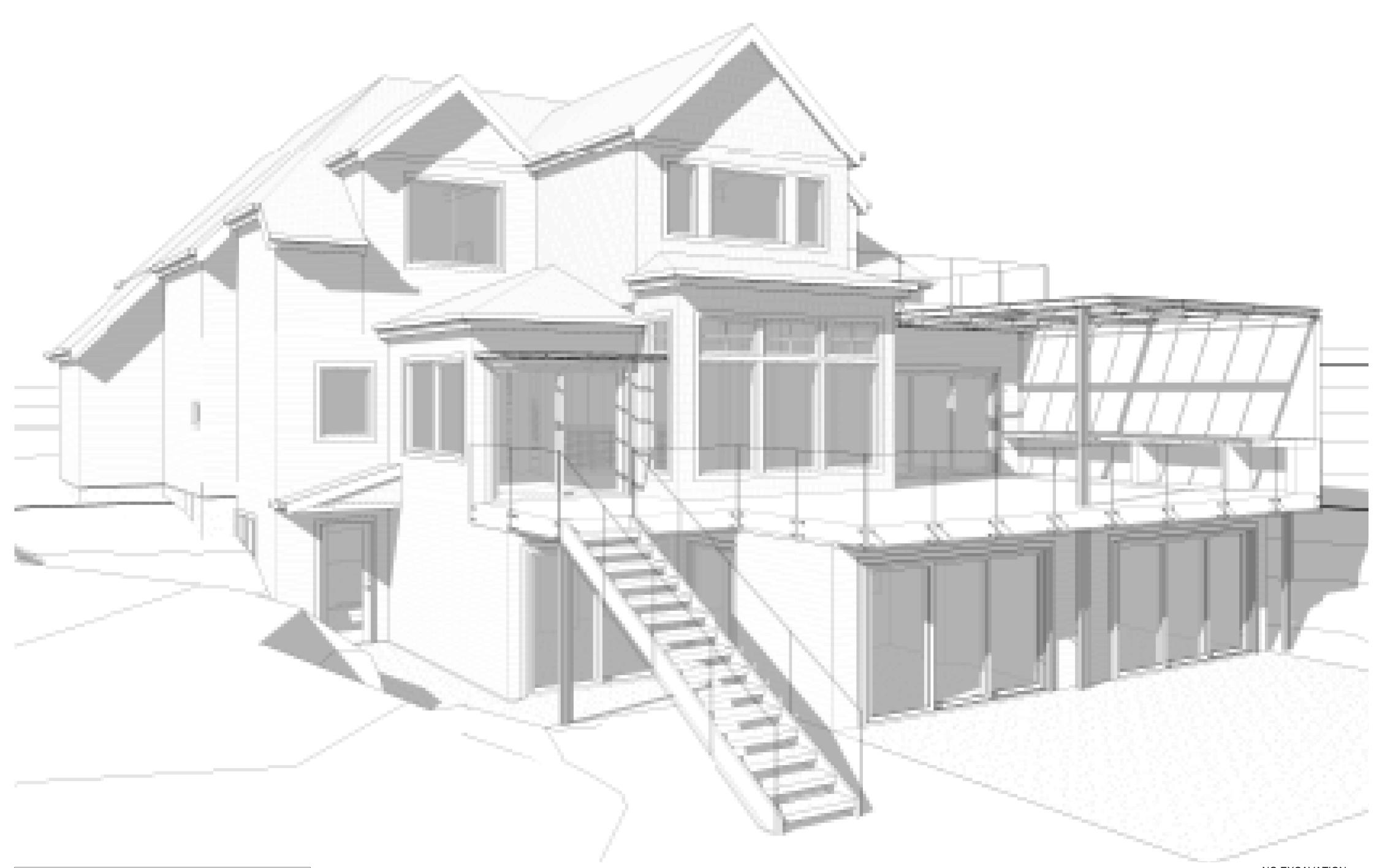
9820 SE 35TH PLACE MERCER ISLAND, WA. 98040



NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

R9.6 BUILDING ZONE REQUREMENTS

LOT COVEREAGE: ALLOWED - 40% HARDSCAPE COVEREAGE: ALLOWED 9% + BORROWED AREA GROSS FLOOR AREA: ALLOWED 8,000 SQ. FT. A.B.E. AND MAX HEIGHT: NEW ADDITION AREA A.B.E. AND MAX HEIGHT: NEW DETACHED GARAGE ALLOWED STRUCTURAL DISTURBANCE: 40%

SEE SHE	ET A0.1
SEE SHE	ET A0.1
SEE SHE	ET A0.1
SEE SHE	ET A0.2
SEE SHE	ET A0.2
SEE SHE	ET A0.2

NO EXCAVATION BEYOND FOUNDATIONS CALL 48 HOURS **BEFORE YOU DIG** 811 OR 1-800-424-5555

CODE INFORMATION

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF MERCER ISLAND 2015 INTERNATIONAL BUILDING CODE (IBC) 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 INTERNATIONAL MECHANICAL CODE (IMC) 2015 INTERNATIONAL FUEL GAS COZDE (IFGC) 2015 INTERNATIONAL FIRE CODE (IFC) WASHINGTON STATE ENERGY CODE, WAC 51-11 (WSEC) 2015 UNIFORM PLUMBING CODE (UPC) 2014 NATIONAL ELECTRIC CODE (NEC) 2015 NATIONAL FUEL GAS CODE (NFGC) NFPA 54, WAC

BUILDING CLASSIFICATION

A. OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENCE B. TYPE OF CONSTRUCTION:

1. AUTOMATIC SPRINKLERS PROVIDED __YES _X_NO SPRINKLER SYSTEM TO BE A FLOW THRU SYSTEM

THIS HOUSE HAS A FIRE ALARM SYSTEM INSTALLED.

ENERGY CODE COMPLIANCE

GENERAL PRESCRIPTIVE METHOD: SEE SHEETS A0.2, A0.3 & A5.0

ENERGY CREDITS PER TABLE 406.2.1: ADDITION TO EXISTING BUILDING GREATER THAN 500sf<1500sf

OPTION 5c EFFICIENT WATER HEATING 1.5 CREDITS

- GAS WATER HEATER, MIN. EF 0.91

1.5 CREDITS TOTAL CREDITS REQUIRED SMALL DU: TOTAL CREDITS PROPOSED: 1.5 CREDITS

ZONING & CODE INFORMATION

JURISDICTION:	CITY OF MERCER ISLAN
ZONING:	R9.6
PARCEL ASSESSOR'S #:	082405-9027

LEGAL DESCRIPTION:

OCCUPANCY:

NEW CONSTRUCTION:

PARKING REQUIRED:

PARKING PROVIDED:

PROJECT DESCRIPTION:

SETBACKS AT REMODEL / ADDITION:

LOT 1 TGW SH LDS ADJ MERCER ISLAND SHORT PLAT NO 82-11-26 REC NO 8303109004 - LESS POR THOF LY NLY AND WLY OF FOLG DESC LN --COMM AT NW COR OF SD LOT 1 TH S 88-49-28 E ALG NOTRH LAN THOF DIST OF 82.40 FT TO TPOB OF HEREIN DESC LN TH S 01-10-32 W 4.54 FT TH S 64-49-53 W 9.36 FT TH N 88-49-28 W 21.64 FT TH S 64-21-02 W 8.31 FT TH S 51-11-48 W 14.70 FT TH N 88-49-28 W 33.69 FT TO WEST LN OF SD LOT 1 AND THE TERMINUS OF HEREIN DESC LN AKA "LOT 1" OF MERCER ISLAND LOT LINE ADJUSTMENT NO SUB01-009 REC NO 20021125900027 LY IN STR 08-24-05

SINGLE FAMILY

REFER TO PREVIOUS PERMIT #9908-047

20'-0"

10'-0"

APPROVED SITE PLAN 9-10-99

2 CAR DETACHED GARAGE-

2.0 PER DWELLING UNIT

2.0 IN ATTACHED GARAGE

2.0 IN NEW DETACHED GARAGE

ADDITION AND REMODEL TO

SINGLE FAMILY RESIDENCE + DETACHED 2 CAR GARAGE

FRONT YARD:

SIDE YARD:

EXISTING SETBACKS ARE VESTED

NTS PROJECT LOCATION REMODEL CHANGES ARE LESS THAN 40% OF THE EXTERIOR (SEE CALCULATION SHT) PER PRE-APPLICATION PREMIT #PRE20-038 N PROJECT LOCATION QT. SECT. MAP NTS

PROJECT CONTACT INFOMATION

OWNER:	MARY & ACHIH CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA. 98040 P: 706-726-3333 E: maryrwchen@yahoo.com
CONTRACTOR:	T.B.D.
ARCHITECT:	MEDICI ARCHITECTS EMILY BUCHWALTER, AIA 11711 SE 8TH ST., SUITE 100 BELLEVUE, WA 98005 P: 425-453-9298 E: priscilla@mediciarchitects.com
STRUCTURAL ENGINEER:	FOSSATTI PAWLAK STRUCTURAL ENGINEERS PETE PAWLAK 1735 WESTLAKE AVE N., SUITE 205 SEATTLE, WA 98109 P: 206-456-3071 E: ppawlak@fossatti.com
CIVIL ENGINEER:	CIVIL ENGINEERING SOLUTIONS ELLIS DUFFY, PE 102 NW CANAL STREET SEATTLE, WA. 98107 P: 206-930-0342 E: duffy@cesolutions.us
ARBORIST:	OLYMPIC NURSERY, INC. TOM QUIGLEY ISA CERTIFIED ARBORIST PN0655A P: 206-850-2643 E: tlquigley@msn.com
SURVEYOR:	INFORMED LAND SURVEY EVAN WAHLSTROM P. O. BOX 5137 TACOMA, WA. 98415 P: 253-627-2070 E: ewahlstrom@i-landsurvey.com
GEOTECHNICAL ENGINEER:	GEO GROUP NW ADAM GASTON 13705 BEL-RED ROAD BELLEVUE, WA. 9005 P: 425-649-8757 E: agaston@geogroupnw.com

STRUCTURAL SHEET INDEX

DRAWING SHEET INDEX

A0.0

A0.1.0

A0.2

A0.2.1

A0.3

A0.4

A1.0

A1.1

A2.0

A2.1

A3.0

A5.0

A6.0

A7.0 A7.1

A4.0-A4.1

D1.0-D1.3

CITY OFMERCER ISLAND COVER SHEET

TITLE SHEET

SITE PLAN

SCHEDULES

ROOF PLAN

ELEVATIONS

SECTIONS

DETAILS

GENERAL NOTES

DEMOLITION PLANS

FOUNDATION PLAN

BASEMENT PLAN

SITE PLAN CALCULATIONS

STORMWATER CALCULATIONS

1ST FLOOR CONSTRUCTION PLAN

2ND FLOOR CONSTRUCTION PLAN

DETACHED GARAGE ELEVATIONS

DETACHED GARAGE FLOOR & ROOF PLAN

011100		
S2.1	FOUNDATION PLAN	
S2.2	1ST FLOOR FRAMING PLAN	
S2.3	2ND FLOOT FRAMING PLAN	
S2.4	ROOF FRAMING PLAN	
S3.1	CONCRETE DETAILS	
S4.1	SECTIONS	
S4.2	SECTIONS	
CIVIL SH	HEET INDEX	
C1.0	EROSION CONTROL PLAN	
	TREE RETENTION PLAN	
C1.2	TESC & CITY NOTES	
	TESC DETAILS	

C1.2	TESC & CITY NOTES
	TESC DETAILS
C2.0	DRAINAGE / CIVIL PLAN
C3.5	BMP DETAILS

SURVEY:

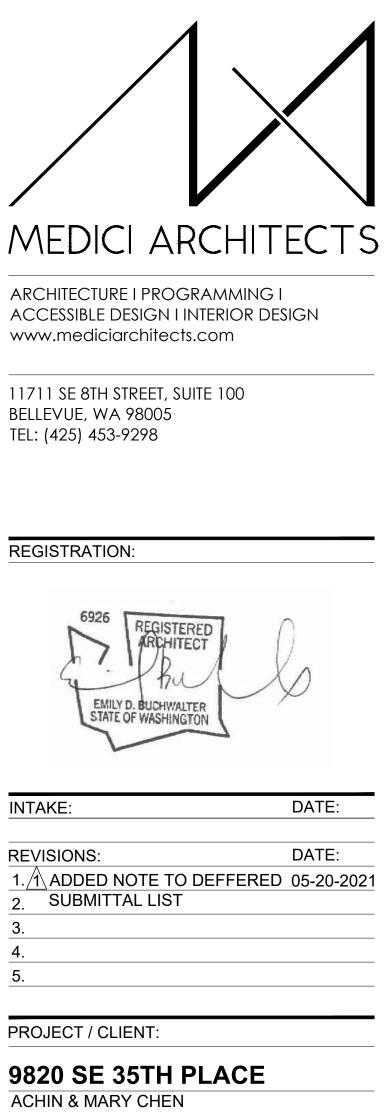
TOPOGRAPHIC SURVEY INCLUDED

DEFERRED SUBMITTAL:

THE FOLLOWING ITEMS ARE CONSIDERED TO BE A DEFERRED SUBMITTAL UNDER SECTION 107.3.4.1 OF THE IBC AND MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW. THESE ITEMS WILL THEN BE FORWARDED TO THE BUILDING OFFICIAL FOR APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

*PRE-ENGINEERED INTERIOR STEEL STAIRS, HANDRAILS, BALCONY GUARDS, EXTERIOR STEEL STAIRS, STEEL FRAME CANOPY. ELECTRICAL, MECHANICAL AND PLUMBING.

NOTE: ALL STRUCTURAL GLASS CONSTRUCTION (GUARDS, RAILING, ROOF PANELS, WALKWAY, STAIRS, ECT.) SPECIFYING THE DESIGN AND COORDINATED ATTACHMENTS SHALL BE SUBMITTED FOR REVIEW TO THE CITY PRIOR TO MANUFACTURING.



9820 SE 35TH PLACE MERCER ISLAND, WA 98040

JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

DRAWING NAME:

TITLE SHEET

Drawn By: JMG,RB Checked By: EB Owner Approval:

PHASE: **CONSTRUCTION DOCUMENTS**

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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007 DATE: 12-22-2020 A0.0

TREE PROTECTION GUIDELINES

All remaining trees are to have a tree protection zone (TPZ) established before commencement of any construction or delivery activities. The following guidelines are to be observed and practiced during all construction activities.

- Access is to be restricted into TPZ's with readily visible temporary tree fencing along the LOD which completely surrounds the protected areas of retained trees. Fences shall be constructed of chain link and be at least 4 ft tall, constructed using pier block, and major roots should be avoided while staking. • Highly visible signs spaced no further than 15 feet shall be placed
- along sides of the TPZ fencing.
- Construction materials or supplies, soil, debris, vehicles, and equipment are not to be parked or stored within TPZ.
- TPZ fences must be inspected prior to the beginning of any construction activities.
- Assess crew and contractor penalties, if necessary, to keep the TPZ's intact.
- Check the integrity of TPZ fences weekly, and repair or replace as
- needed. • Wood chips should be used if possible to spread above root zones
- within the TPZ's to a depth of 6-8 inches for temporary protection. • Cement trucks must not deposit waste or rinse out trucks in the TPZ.
- Avoid grade changes or trenching within or near the TPZ. If it is unavoidable, then follow the guidelines below. • TPZ's may only be moved or accessed with permission from City Officials, and any work done within TPZ's must be done with a certified arborist present.
- If roots need to pruned, they should be cut with pruning saws, made flush with the side of the trench.
- Trees should be watered twice a week if construction is to take place during hot summer months.

If excavation occurs within the driplines of trees scheduled for retention, the following procedures must be followed to protect them:

- The contractor shall verify the vertical and horizontal location of existing utilities to avoid conflicts and maintain minimum clearances;
- adjustment shall be made to the grade of the new utility as required. • The inner root zone shall not be disturbed or cut (inner root zone =
- half the drip line radius). • ISA Certified arborist must work with equipment operators during
- trenching/ excavation. The Arborist should have a shovel, hand pruners, loppers, handsaw, and a sawsall. • If roots one inch or larger are damaged by equipment, the Arborist
- shall stop the equipment and have the dirt excavated by hand until the root can be cleanly cut. A clean straight cut shall be made to remove the damaged portion of root, and if possible the roots should be covered in moist burlap until recovered with dirt the same day.
- Boring or tunneling under roots of existing trees is a viable alternative to trenching through roots. It shall be performed under the supervision of an ISA Certified Arborist, and no roots 1 inch in diameter or larger shall be cut.
- The grade shall not be elevated or reduced within the critical root zone of trees to be preserved without the Planning Official's authorization based on recommendations from a qualified professional. The Planning Official may allow coverage of up to one half of the area of the tree's critical root zone with light soils (no clay) to the minimum depth necessary to carry out grading or landscaping plans, if it will not imperil the survival of the tree. Aeration devices may be required to ensure the tree's survival.

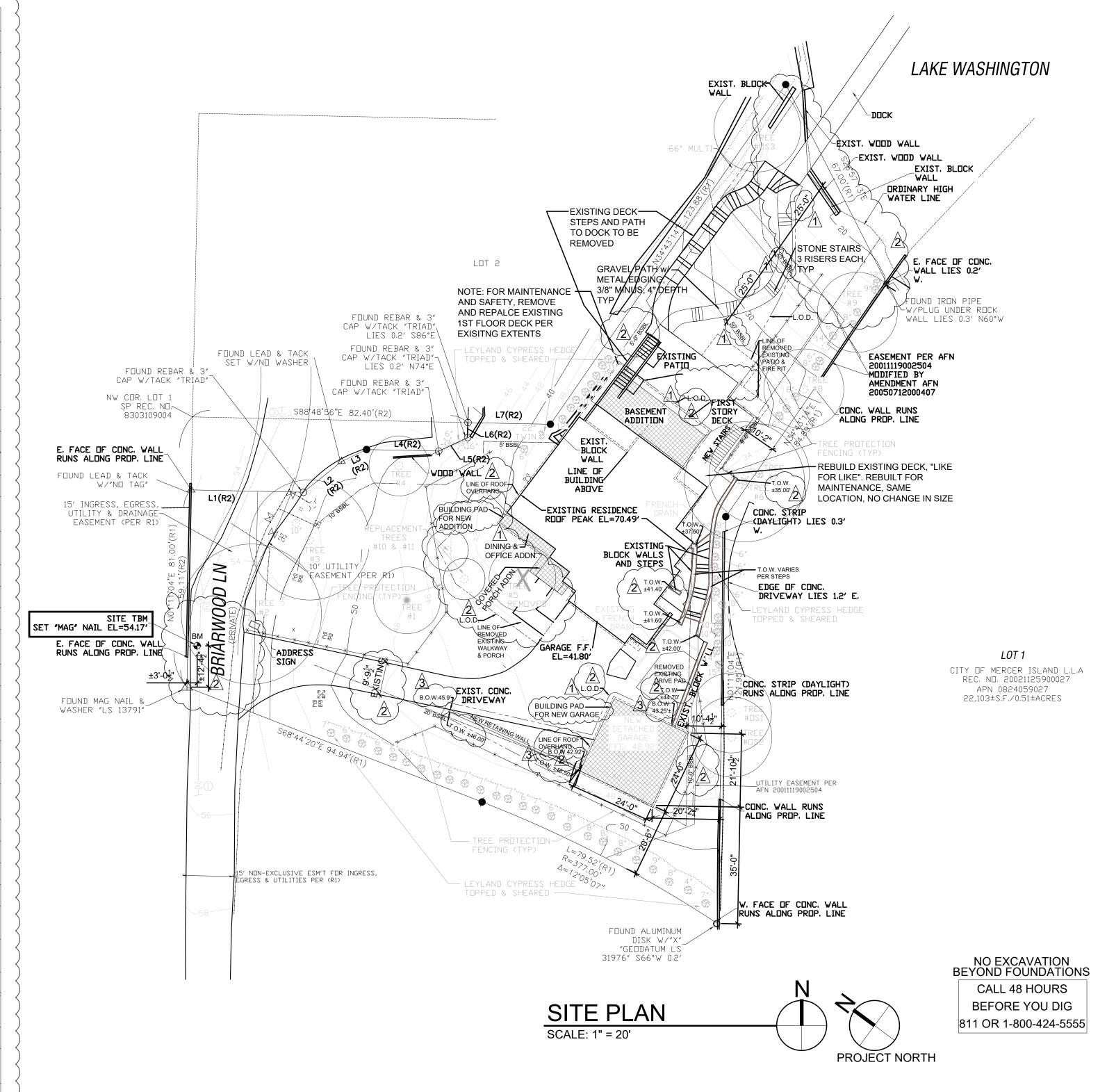
TREE RETENTION/ PROVISION CALCULATION

EXISTING ON-SITE TRE	ES	RETAIN	REMOVE	DBH	CREDIT
TREE #1	FLOWERING CHERRY	X		12"	2
TREE #2	Cedrus Atlantica, Atlas Cedar	X		29.5"	10
TREE #3	Quercus, Pin Oak	x		24.8"	8
TREE #4	Acer palmatum, Japanese Maple	x		12.5"	2
TREE #5	Acer palmatum, Japanese Maple		Х	11.0"	1
TREE #6	Cedrus Atlantica, Atlas Cedar	x		26.0"	9
TREE #7	Acer Macrophyllum, Big Leaf Maple	X		17.4"	4
TREE #8	Fraxines, Ash	X		21.0"	6
TREE #9	Fraxines, Ash	X		14.0"	3
NEW TREES TO REPLA					
TREE #10	Amelanchier Alnifolia, Western Serviceberry	X (NEW) REPLACEME NT		2"	
TREE #11	Amelanchier Alnifolia, Western Serviceberry	X (NEW) REPLACEME NT		2"	
EXISTING OFF-SITE TR	EES w/ OVERHANGING LIMBS				
TREE # OS 1	Cuppreseocyparis Leylandii, Layland	X		est 18"	
TREE # OS 2	Cuppreseocyparis Leylandii, Layland	X		est 21"	
TREE # OS 3	Populus Nigra, Black Cottonwood	X		est 44"	
TOTAL CREDITS PROPOSED					45
LOT SIZE				0.50	ACRES
TREES PER ACRE	PER KZC 95.33			30.0	
TOTAL CREDITS REQUIRED					5.0
	I MINIMUM SIZE WORTH ONE TREE CREDIT AS OUTUN				

SUPLEMENTAL TREES TO MEET MINIMUM SIZE WORTH ONE TREE CREDIT AS OUTLINED IN KZC 95.33(4)

9820 SE 35TH PLACE, MERCER ISLAND, WA. 98040

LOT COVERAGE	
LOT SIZE	22,103
LOT COVEREAGE ZONE % - RS 9.6 <15%	,100
SLOPE - 40%	8,841
EXISTING LOT COVERAG	E
MAIN STRUCTURE ROOF AREA	2,476
VEHICULAR USE	3,060
VENIOULAN OUL	0,000
TOTAL EXISTING LOT COVERAGE	5,536
NEW LOT COVERAGE	
EXISTING LOT COVERAGE REMOVED	(515)
MAIN STRUCTURE ROOF AREA	532
ACCESSORY STRUCTURE ROOF AREA	608
VEHICULAR USE	204
COVERED PATIOS/DECKS	66
NEW LOT COVERAGE	895
	6,431
TOTAL LOT COVERAGE AREA	
%	29.10%
HARDSCAPE COVERAG	
LOT SIZE	22,103
	0.440
BORROWED FROM LOT COVEREAGE	2,410
HARDSCAPE AREA ALLOWED = 9%+ BORROWED AREA	4,399
% HARDSCAPE AREA ALLLOWED	19.90%
	_
UNCOVERED DECKS	223
UNCOVERED PATIOS	1,188
WALKWAYS	175
WALKWATS	175
STAIRS	532
ROCKERIES/RETAINING WALLS	241
HARDSCAPE COVERAGE	2,359
HARDSCAPE AREAS REMOVED	(1,122)
NEW HARDSCAPE COVERA	GE
UNCOVERED DECKS - REPLACED	75
UNCOVERED PATIOS	60
DOCK PATH	233
	200
STAIRS	49
NEW RETAINING WALL	29
COVERED DECK	60
TOTAL NEW HARDSCAPE COVERAGE	506
	500
TOTAL HARDSCAPE AREA	1,743
TOTAL HARDSCAPE %	7.89%
GROSS LOT COVERAGE %	36.98%
GROSS LOT COVERAGE CH	
EXISTING LOT COVERAGE	5,536
EXISTING HARDSCAPE COVERAGE	2,359
TOTAL EXISTING GROSS COVERAGE	7,895
REMOVED EXIST. LOT COVERAGE	(515)
REMOVED EXIST. HARDSCAPE	(1,122)
TOTAL REMOVED COVERAGE	-1,637
	895
NEW LOT COVERAGE	
	506
NEW HARDSCAPE COVERAGE	506
NEW HARDSCAPE COVERAGE TOTAL NEW COVERAGE	1,401
NEW HARDSCAPE COVERAGE	



GR	OSS FLOO	R AREA CALCULATI	ION ZONE R9.6	
(FRC	OM OUTSIDE	PERIMETER OF THE E	XTERIOR WALLS)	
FLOOR	EXIST. AREA	REMOVED AREA	NEW/ADD AREA	TOTAL
UPPER FLOOR	1,430		100	1,530
MAIN FLOOR	1,677		67	1,744
GROSS BASEMENT AREA	1,290	681	380	989
GARAGE	505			505
STAIR CASE GFA MODIFIER			92	92
TOTAL BUILDING AREA	4,902	681	639	4,860
ACCESSORY BUILDING			576	576
LOT AREA	ZONE	ALLOWED GROSS FLOOR AREA (SF)	ALLOWED GROSS FLOOR AREA (%)	
21,700	R9.6	8,000	36.87%	
PROPOSED GROSS FL	OOR AREA	SQUARE FOOTAGE;	1	5,436
PROPOSED GROSS FL	OOR AREA	PERCENTAGE:		25.05%

FIRE		JLATION	
(FROM INSIDE PER	IMETER OF T	HE EXTERIO	R WALLS)
AREA			SQ. FTG.
BASEMENT			1,623
1st FLOOR			1,663
2nd FLOOR			1,756
ATTACHED GRAGE			486
COVERED PORCH			64
COVERED DECKS			363
COVERED PATIO			126

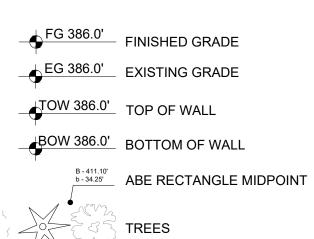
LOT SLOPE:

54.4 FEET HIGHEST ELEVATION POINT OF LOT: 18.0 FEET LOWEST ELEVATION POINT OF LOT: 36.4 FEET ELEVATION DIFFERENCE: HORIZONTAL DISTANCE BETWEEN POINTS: 254.7 FEET

LOT SLOPE: 14.3%

_____ ______ SD ______ SD _____ ------WATER SERVICE -----LINE OF ROOF ABOVE ------ ABE RECTANGLE _____

SYMBOL LEGEND: _ CENTER LINE SANITARY SEWER GAS SERVICE _ STORM DRAINAGE _ UNDERGROUND POWER - SETBACK LINE _EXISTING CONTOUR _ PROPOSED CONTOUR ------ EASEMENT LINE --- TREE FENCE RETAINING WALL _____ LINE OF DISTURBANCE





TREE DRIPLINE

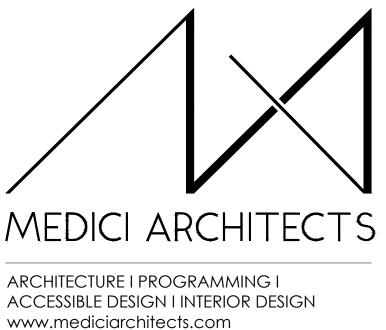
TREE TO BE REMOVED

CONCRETE

Nor Sala

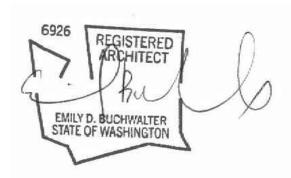
BM BENCH MARK

SSMH SANITARY SEWER MANHOLE S 88° 52' 32" E 296.84' BEARING



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REGISTRATION:



INTAKE: DATE: DATE: **REVISIONS:** 1. \bigwedge Robin Proebsting comments 12-04-20 2./2 PER COMMENT 01-2005-081- 04-01-2021 3. SUB1-PLANS 05-20-2021 4./3 ADDED NOTES PER 2005-081-SUB2-PLANS

PROJECT / CLIENT:

9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

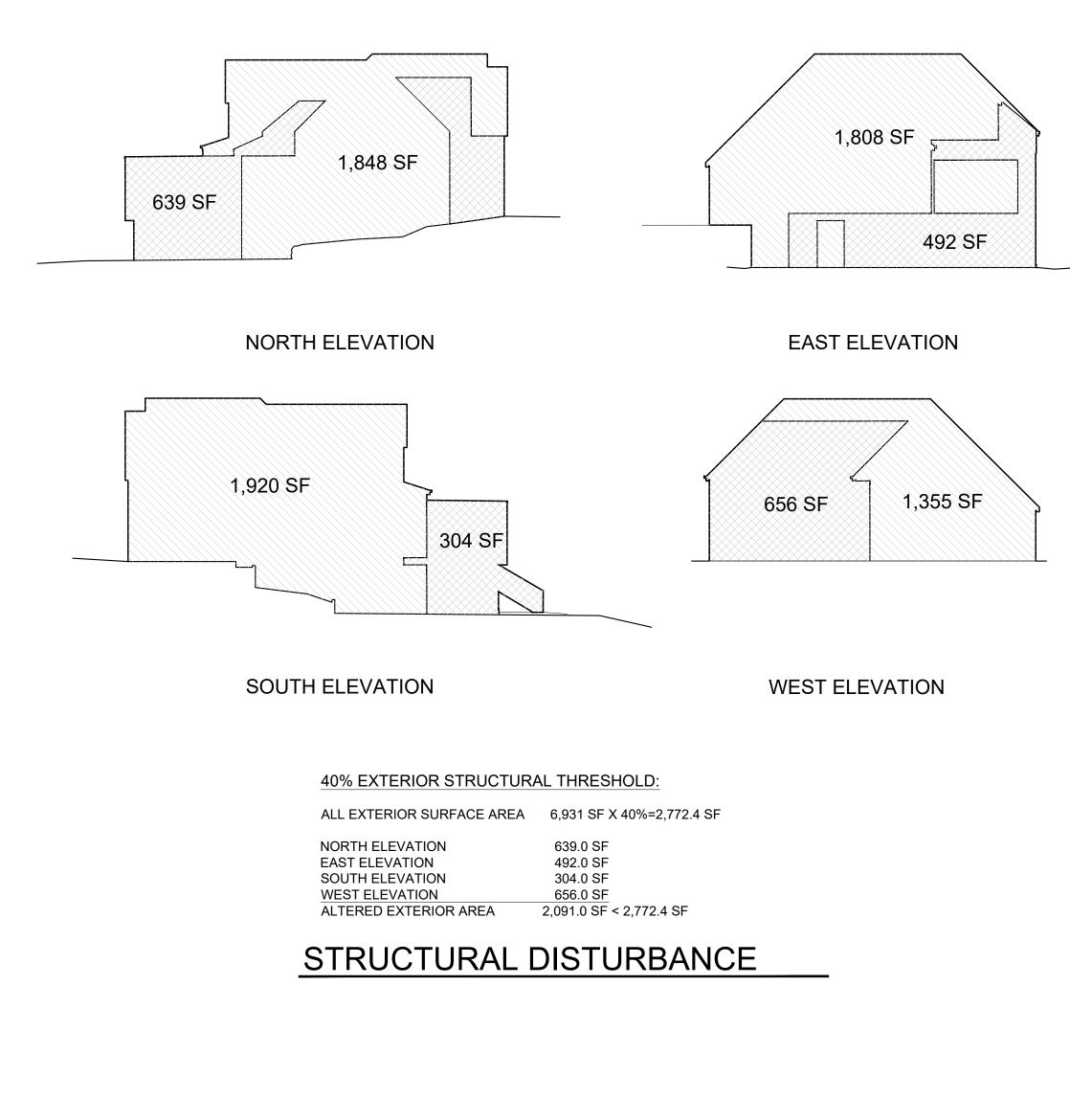
SITE PLAN Drawn By: JMG,RB Checked By: EB Owner Approval: PHASE: **CONSTRUCTION DOCUMENTS** This drawing is the exclusive property of Medici Architects, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect. APPROVED FOR CONSTRUCTION:

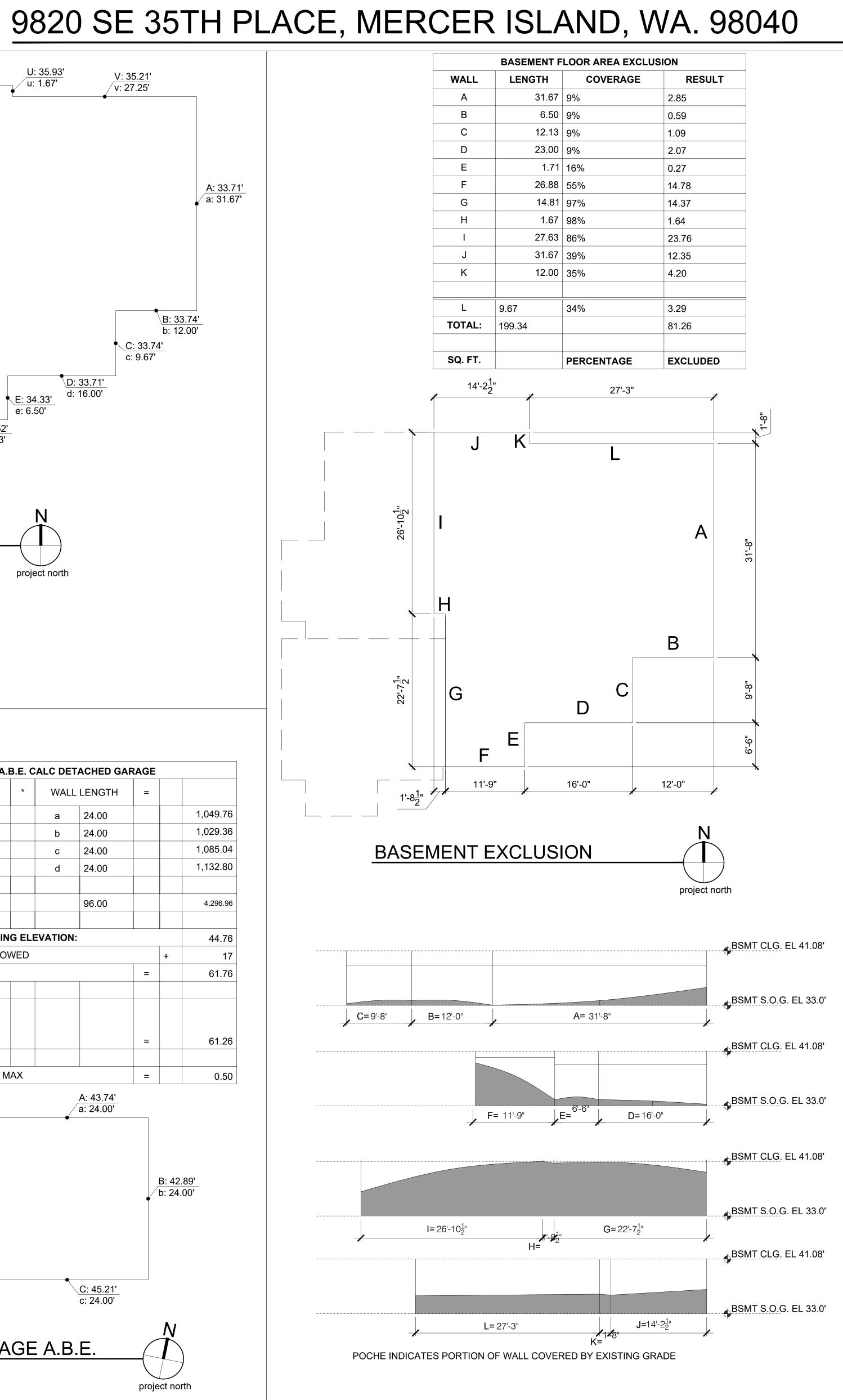
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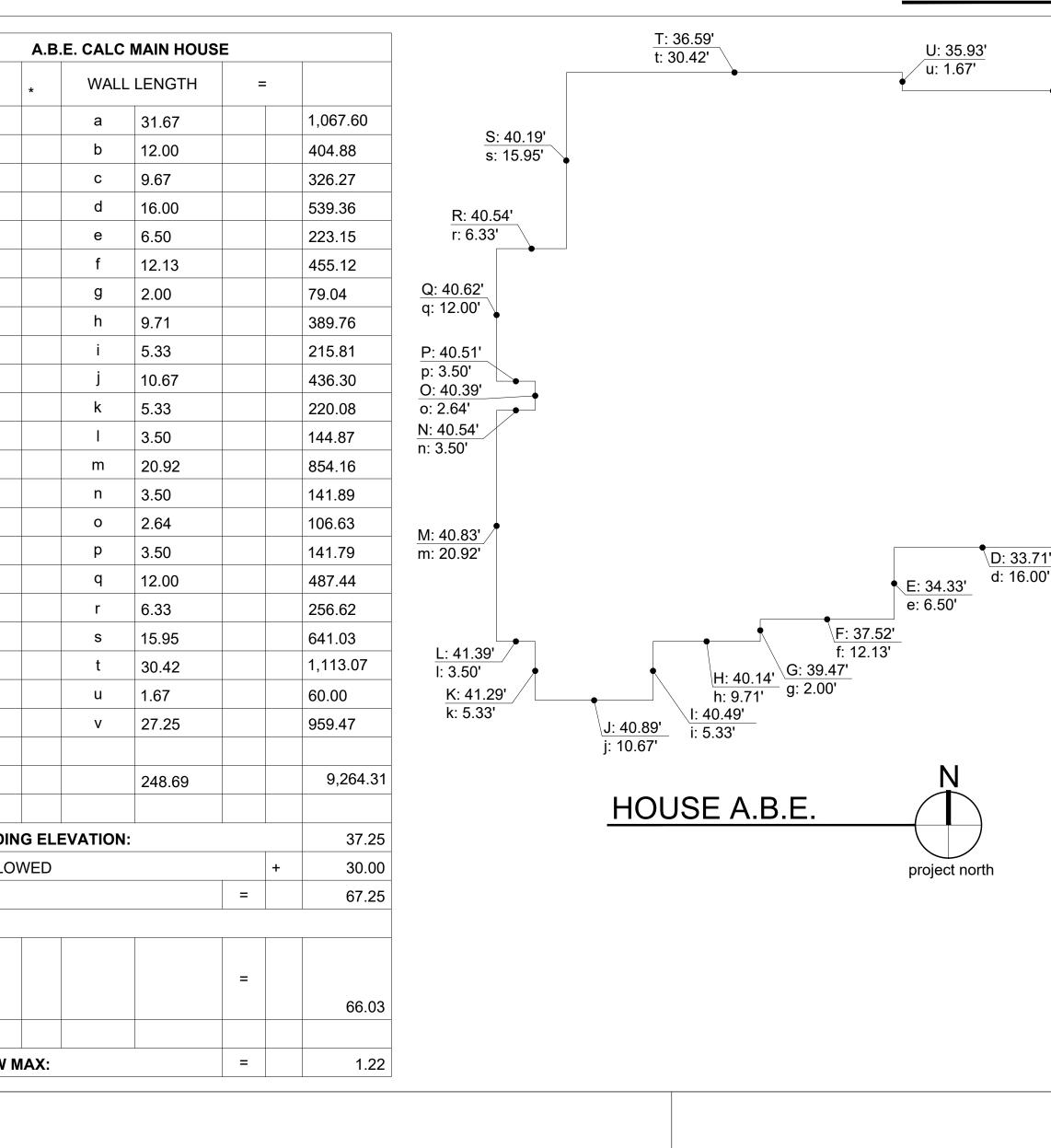
PROJECT No.: 2020 007 DATE: 12-22-2020

A0.1

r			
		A.B	E. C
	OINT	*	V
		^	
A	33.71		
B	33.74		
C	33.74		
D	33.71		
E	34.33		
F	37.52		
G	39.52		
Н	40.14		
	40.49		
J	40.89		
K	41.29		
L	41.39		
М	40.83		
Ν	40.54		
0	40.39		
Р	40.51		
Q	40.62		
R	40.54		
S	40.19		
Т	36.59		
U	35.93		
V	35.21		
TOTAL:			
	E BUILDIN		EVA
	GHT ALLOV	VED	
MAX ELE	VATION		
PROPOS			
ED TOP			
OF ROOF			
AMOUNT	BELOW N	IAX:	<u> </u>







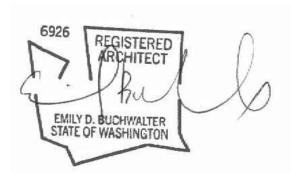
		3.E. C		TACHED GA	RAGE	1	1
	POINT ATION	*	WAL	L LENGTH	=		
А	43.74		а	24.00			
В	42.89		b	24.00			
С	45.21		с	24.00			
D	47.20		d	24.00			
TOTAL				96.00			
AVERAG	E BUILDIN	G ELI		N:			
MAX HEI	GHT ALLOV	VED			- 1	+	
MAX ELE	VATION				=		
PROPOS							
ED TOP							
OF ROOF					=		
AMOUNT	BELOW M	AX			=		
				A: 43.74' / a: 24.00'			
<u>D: 47.</u> d: 24.0						<u>B: 42</u> b: 24	
				<u>C: 45.21'</u> c: 24.00'			
(GARA	GE	<u>E A.B</u>	8.E.	_(NT)



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DATE:

INTAKE:

DATE:

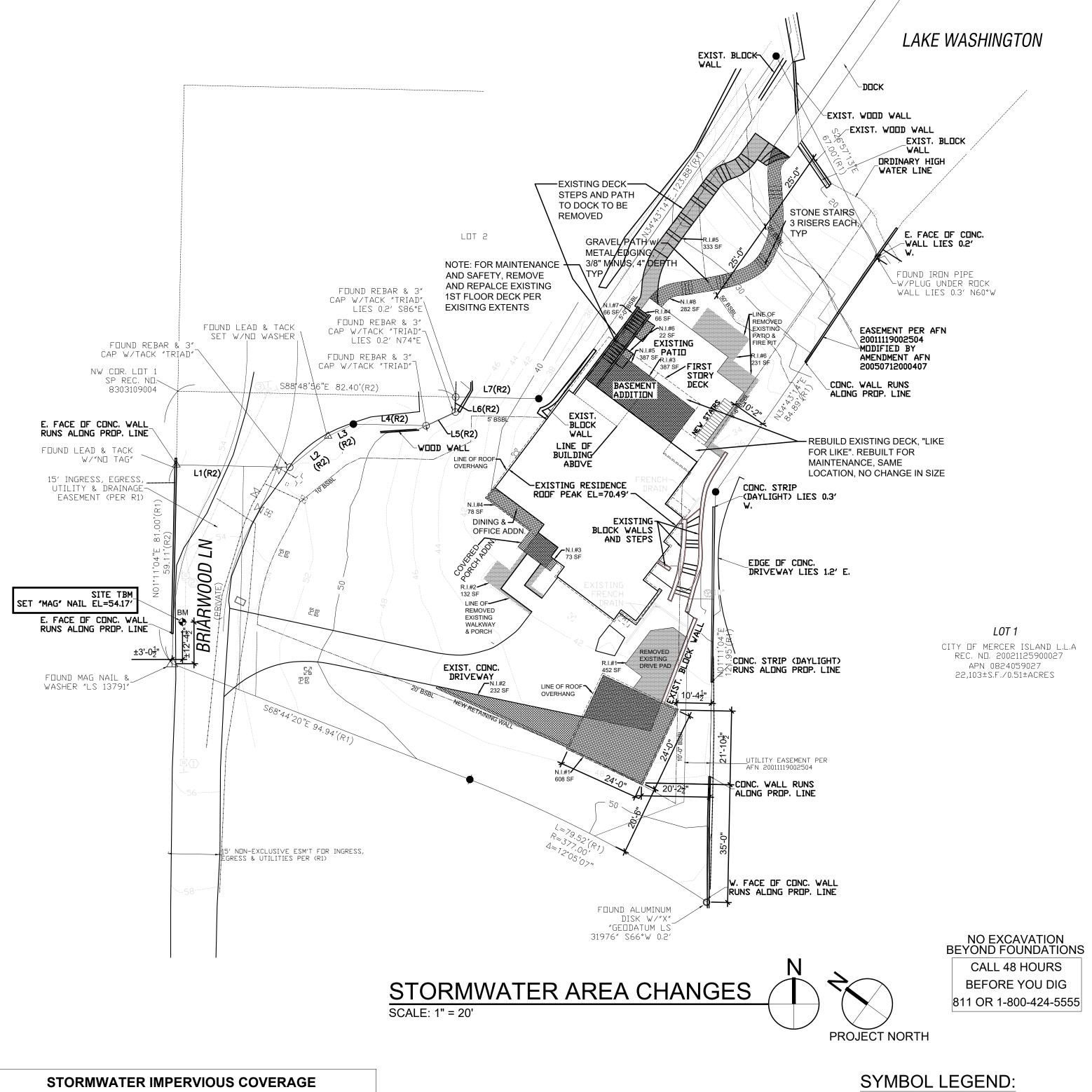
PROJECT / CLIENT:

9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

	1E:	
SITE PLAN	-	
CALCULAT	IONS	
Drawn By: J		
Checked By: E		
Owner Approva	1:	
PHASE:		
CONSTRUCTIO		ſS
Architects, and ca permission of the modifications to v	ne exclusive prope an be reproduced Architect. Variati vork shown on this ed out without writ t.	only with the ons and s drawing
APPROVED FC	OR CONSTRUC	ΓΙΟΝ:
PROJECT No.:	2020 007	
DATE:	12-22-2020	
PLOT SCALE:	1:1	A0.2

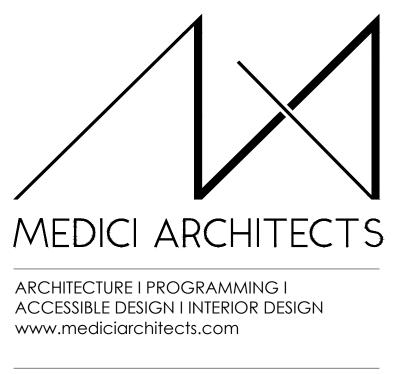
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9820 SE 35TH PLACE, MERCER ISLAND, WA. 98040



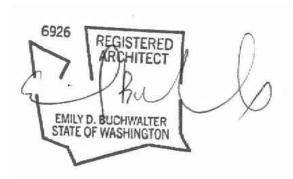
STORMWATER IMPERVIOUS COVERAGE						
	JS					
LOCATION AREA						
EXISTING DR	IVE PAD	452	SF			
FRONT PORC	CH/WALK	132	SF			
PATIO @ BAS	SEMENT ADDITION	387	SF			
DECK STEPS		66	SF			
DOCK PATH	& STEPS	333	SF			
EXISTING PA	TIO	231	SF			
	TOTAL:	1,601	SF			
REPLACED IN	IPERVIOUS					
LOCATION AREA						
ACCESSORY BUILDING 608 SI						
DRIVE PAD/RETAINING WALL 232 SF						
ENTRY PORCH 73 S						
NORTHWEST	ADDITION	78	SF			
EAST BASEMENT ADDITION 387 S						
FILLED PATIO PLANTERS 22 SF						
PATIO @ REMOVED DECK STEPS 66 SF						
GRAVEL DOC	CK PATH & STEPS	282	SF			
	TOTAL:	1,748	SF			
	ED IMPERVIOU LOCATION EXISTING DR FRONT PORC PATIO @ BAS DECK STEPS DOCK PATH & EXISTING PA EXISTING PA LOCATION ACCESSORY DRIVE PAD/R ENTRY PORC NORTHWEST EAST BASEM FILLED PATIC PATIO @ REM	ED IMPERVIOUS LOCATION EXISTING DRIVE PAD FRONT PORCH/WALK PATIO @ BASEMENT ADDITION DECK STEPS DOCK PATH & STEPS EXISTING PATIO TOTAL: //REPLACED IMPERVIOUS LOCATION ACCESSORY BUILDING DRIVE PAD/RETAINING WALL ENTRY PORCH NORTHWEST ADDITION EAST BASEMENT ADDITION FILLED PATIO PLANTERS PATIO @ REMOVED DECK STEPS GRAVEL DOCK PATH & STEPS	ED IMPERVIOUS LOCATION AREA EXISTING DRIVE PAD 452 FRONT PORCH/WALK 132 PATIO @ BASEMENT ADDITION 387 DECK STEPS 666 DOCK PATH & STEPS 333 EXISTING PATIO 231 TOTAL: 1,601 KREPLACED IMPERVIOUS LOCATION AREA ACCESSORY BUILDING 608 DRIVE PAD/RETAINING WALL 232 ENTRY PORCH 73 NORTHWEST ADDITION 78 EAST BASEMENT ADDITION 387 FILLED PATIO PLANTERS 222 PATIO @ REMOVED DECK STEPS 66 GRAVEL DOCK PATH & STEPS 282			

147 SF DIFFERENCE:



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REGISTRATION:



INTAKE:

REVISIONS: DATE: 1. A PER COMMENT 01-2005-081- 12-04-20 2. SUB1-PLANS 04-01-2021

DATE:

PROJECT / CLIENT:

9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

REMOVED IMPERVIOUS

SURFACE AREA

NEW IMPERVIOUS SURFACE AREA

STORMWA	TER	
CALCULAT		
Drawn By: JN	MG,RB	
Checked By: El	_	
Owner Approval:		
PHASE:		
CONSTRUCTIO	ON DOCUMENTS	
Architects, and ca permission of the <i>i</i>	e exclusive property of Medici n be reproduced only with the Architect. Variations and ork shown on this drawing	
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shall not be carried from the Architect APPROVED FOI	d out without written permission R CONSTRUCTION: 2020 007 12-22-2020	- - 1

DIVISION 1 - GENERAL REQUIREMENTS:

The General Contractor shall review the Construction Documents to complete the Work and notify the Architect of resolution for all discrepancies between architectural drawings and structural drawings prior to const

DO NOT SCALE DRAWINGS - notify Architect of dimensions in question.

The General Contractor is responsible for checking and reviewing the Building Department a Construction Documents. The Architect shall be promptly notified of required changes; at that tim will initiate appropriate action.

The General Contractor is responsible for disseminating all information contained in the Drawing and Bid Documents to each Subcontractor.

INSTALLATION OF MATERIALS:

All products in the Drawings or Interior Specifications shall be installed in strict accordance with the current published instructions. Manufacturer's instructions in conflict with the Contract Documents to the attention of the Architect prior to commencement of the work. Products not provided instructions shall be installed in accordance with the best trade practices of the industry. In any experienced and skilled in the installation of these items shall install all products.

APPROVAL OF SUBSTITUTIONS:

The General Contractor shall support substitution requests for specified materials with complete da samples as necessary for review by the Architect and Owner. Allow time for investigation before a d made. When the Architect approves a substitution, it is with the understanding that the Gen guarantees the substituted article to be equal or better than the one specified. Any changes to the C done by Change Order.

DIVISION 2 - SITE WORK:

The General Contractor shall verify all dimensions and conditions before proceeding. Any var Drawings and dimension discrepancies shall be brought to the attention of the Architect. Prior to an there must be approval from the Architect.

SITE EXCAVATION, BACKFILL, AND FINISH GRADING:

Excavation site to grades as shown on Drawings (notify Architect of any deviations). Remove all from site. Do not assume on-site material acceptable for backfill. Place washed gravel as shown. P fill under slabs per structural engineers specifications. Finish-grade site for lawn.

CONCRETE STAIRS:

Provide new concrete as indicated on Drawings. Prepare grade, fill, and compact any soft areas. over 2" crushed rock and slope to drains as indicated on SITE PLAN, Sheet A0.0.

SITE UTILITIES:

Relocate existing utilities as required to accommodate new residence as indicated on Drawings. Cod disconnection of utilities with Owner & City of Mercer Island. The side sewer must be capped in the Utility inspector. Contact City of Mercer Island Utilities. The capping must be at the property line; or a main if on the property. Any test tees must be removed. A Side Sewer Permit is required for reconn Water Service Application is required to upgrade existing meter.

SITE DRAINAGE:

Connect all downspouts to storm system per civil drawings. Small Project Type II Option 4. Permeab **DIVISION 3 - CONCRETE:**

FOUNDATIONS:

Patch rock packets when above grade with sack finish. See STRUCTURAL GENERAL NOTES f information

CAST-IN-PLACE ARCHITECTURAL CONCRETE:

All concrete shall be mixed, proportioned conveyed, and placed in accordance with IRC Sections R-Provide new concrete patio and walkway with control joints as indicated on Drawings. Prepare compact and soft areas. Pour 4" concrete slab-on-grade with #4 bars at 18" o.c. each way over and slope to drains as indicated. Finish shall be exposed aggregate.

DIVISION 4 - MASONRY: Color & style to be selected by owner. Construct brick veneer per IRC 606 **DIVISION 5 - METALS:**

METAL FABRICATIONS

Custom-fabricated metal items including exterior and interior railings and handrails to be approve Architect, installed by Contractor. All exposed structural metal connectors to be powder coate otherwise. Color to be determined.

Provide neoprene gasket at all dissimilar metal connections, typ. Structural steel and metal fabrication refer to and comply with structural engineering notes, s drawings. Provide shop drawings showing details of fabrication, assembly and installation includin anchor bolt placement. Grind smooth exposed welds.

Steel Finishes: Exterior steel unless noted otherwise - Galvanized, including all bolts, nuts and washers. Interior S drawings

DIVISION 6 - WOODS & PLASTICS:

Refer to and comply with structural engineering notes, specification and drawings. Provide block fixtures, bath accessories and electrical devices.Per R317.4 Wood/plastic composites used in exter stairs treads, handrails and guard rail systems shall bear a label indicating the required performa demonstrating compliance with the provisions of ASTM D 7032.

TREATED WOOD:

Pressure treated lumber and plywood with water-born preservatives for wood to masonry, wood to contact and as specifically noted in the drawings. Structurally glued laminated units: refer to and comply with structural engineering notes, s drawings. Seal all surfaces, including cut ends and drilled bolt holes prior to placing members. weather units to be treated.

FINISH CARPENTRY:

Comply with AWI quality standards "custom", unless indicated otherwise. Use only seasoned lu fasteners wherever possible, except where exposed fasteners are show. Hot-Dip galvanized or fasteners for work exposed to exterior and high humidity. Install exterior trim with minimal possible Center joints over vertical members wherever possible. Stagger joints in adjacent related mem return, miter at corners to produce tight fitting joints. Use scarf joints for end to end joints, i appearance. Kerf backs as required to avoid warping. Hand select lumber for interior trim of sin coloration. Pre-stain seal and finish per owner.

STAIRWAY CONSTRUCTION: Construct all stairs in accordance with IRC Section R311.7, and as detailed on the drawings.

FIREBLOCKS:

Install fire blocking in wall/ceiling line of concealed soffit spaces and 10-foot intervals both vertical per IRC Section R302.11.

DRAFTSTOPS:

Install draftstops (in common walls separating living units and attics) per IRC Section R302.12.

FIRESTOPS:

Install dwelling unit rated penetrations per IRC R302.4.

DIVISION 7 - THERMAL & MOISTURE PROTECTION

MOISTURE CONTROL: Per WSEC R301.1

FOUNDATION WALL DAMPROOFING:

Apply asphaltic emulsion to all below-grade foundation walls. All below-grade foundation walls great shall also be protected with drainage matting (Mirrodrain, Delta-Drain, Enkadrain, or approved equal

FOUNDATION WALL WATERPROOFING:

All below-grade foundation walls to be sprayed with Graywall waterproofing by Rubber Polymer Co membrane shall be applied to a minimum thickness of 40-mils to exterior surfaces which are clean ambient air temperature is 15° F or above. Fill honeycombed areas, cracks, and tie-holes with nonbefore applying the membrane.

All foundation walls greater than 48" high (below grade) shall also be protected by Delta-Drai membrane by Cosella-Dorken Products, Inc. Supply all system components including Delta-MS sheet termination bar, Delta molding strip, Delta plug-and-nail, and all applicable sealants.

the Architect of struction.	(per WSEC 2015 table R402.1.1 & 402 Fenestration U-Factor Skylight U-Factor Glazed Fenestration SGHC	2.1.3, Refer to table footnotes for additional information) .30 .50 NR	GYPSUM DR Smooth finish
approved set of	Ceiling R-Value	38 single rafter/joist ceiling 49 @ truss framing & attics	Provide gyps bathrooms an in 3 coats (pre
ne, the Architect	Wood Frame Wall R-Value	21 standard framing @ 16" o.c., R-10 min. @ headers, typ.	Attachments: Accessories a
s, Specifications	Mass Wall R-Value Floor R-Value	21 / 21 38	Joint compou Finish: Smoot
	Below Grade Wall R-Value	21 int (furred wall standard framing @ 16" o.c., + Thermal Break between slab and basement wall.)	Reglets and b
e manufacturer's shall be brought with installation	Slab R-Value & Depth	10, 2ft. (For heated slabs, insulation turned up sides & continuous under entire slab).	HARDWOOD To be select requirements
y case, workers	ACOUSTIC INSULATION: Provide acoustic insulation at all ceiling	gs and outer walls of bedrooms, bathrooms and laundry rooms.	<u>STONE FLOC</u> Foyer. Install
	Walls:	R-19 acoustic batt insulation in 2x6 walls R-13 acoustic batt insulation in 2x4 walls	BUILT-IN CA
ta, drawings and decision must be	Ceilings:	R-19 acoustic batt insulation	Verify w/Own
neral Contractor Contract shall be	in roll, spray or brush; application ten typical cure time1 <30 min., dry to to	t-impregnated felt or EnviroDri weather-resistant barrier, field membrane apply nperature min.: 0° f; max.: 130° f, application thickness 15 wet mils or more, uch; <8 hours, (wall temp) (110 – 130 sq. ft. / gal) or other product approved ng material such as Hardie Panel siding.	INTERIOR ST Comply with determined, v installer.
riation from the ny field changes	SIDING:		INTERIOR W
excess material		exposure & hardie panel. Pre-Stain with 2-coats minimum Benjamin Moore , etal Rib height $\frac{7}{8}$ ". Deck and Siding Stain or equal. Color to be determined. Naint only on exterior of siding.	BASEBOARD Entire resider flooring shall
Provide compact		not cedar, rough side out. Stain with 2-coats minimum Benjamin Moore	<u>TILE:</u>
Place 4" paving	EXTERIOR STRUCTURAL WOOD SE	Deck and Siding Stain or equal. Color to be determined.	Comply with r standard spec per manufact
pordinate	Stain exposed wood beams, outlooke	ers, columns, knee braces, rafter tails, etc. with 2-coats minimum Benjamin parent Deck and Siding Stain or equal. Color to be determined. Verify w	flooring, unles <u>Grout:</u> Hydror <u>Sealants:</u> one
presence of a	WATERPROOF DECK: At decks - Plywood surface, 1/4" acx	pine or doug fir plywood over 3/4" plywood; primer, tufflex tuff-poxy primer #1;	PAINT SPEC
nection. A		free "tuff" with rubber texture granules; top coat, tufflex color-coat al-ester,	Verify all finis
			coatings requ required. Pro
ble Pavers.	ROOFING MATERIAL: Architectural :		additional cats Primed and pa
	Manufacturer: Style:	Verify and match existing. TBD by owner Wood shake	Galvanized st
or supplemental	Color: Fasteners: Ice & Water Shield:	Match Existing.	Exterior: deck
	Underlayment:	Install 36" wide across all hips and valleys, and (2) 36" wide courses at all eaves Type 30 per ASTM D-226	section. Wood painted
402.2 and R403. grade, fill, and	Valley Flashing: Wall Trays:	28 gauge, enameled, min. 24" "W"-flashing 26 gauge, enameled, min. 6" trough	Wood lacque
2" crushed rock	Roof to Wall Flashing: Pipe Flashing:	26 gauge, enameled, min. 4" comp. coverage 26 gauge, enameled, min. 12" skirt	Interior wood semi-gloss en
6.	Chimney & Skylight Flashing:	26 gauge, enameled saddle with diverter where width exceeds 2 feet	<u>GWB:</u> first co
	In-Wall counter flashing:	26 gauge, enameled 7-bar flashing	coat: Interior f
d haa Qaamaa ah		IRC SECTION R905	as required. V
d by Owner and d, unless noted		nalf round or square gutters with matching galvanized downspouts connected run to approved discharge. Custom fabricated rake at gutter end - soldered	DIVISION 10
pecification and	seam - 4" or 6" O galvanized downspo	outs with custom fabricated attachments. //nspout locations. Roof/Deck drains and scuppers shall be installed per IRC	TOWEL & BA
ng templates for	-	Il be installed in accordance with the UPC.	on plans or no
Steel - See shop	insulation in ceilings with advanced fra	. R38 batt insulation in single rafter vaulted & low slope ceilings, R38 batt ming, and R49 batt insulation in standard framing provide 1" air gap at top.	STORAGE S' Consult with (
ing for plumbing		oof Vent model S-VS08 where drawn. Provide eave and rake venting where closed-cell water-based spray foam insulation R-7 per inch. Spray-in where	DIVISION 11
rior deck boards, ance levels and	ROOF FLASHING:		<u>GARAGE DO</u> PROVIDE 2 N
	Provide flashing and other weather prometal with v-crimp typical. Roof-to-ma	otection per IRC Sections R903 and R905. Valley flashing shall be enameled asonry conditions shall have enameled stepflash and counterflash.	DIVISION 12
o structural steel	<u>CHIMNEY FLASHING:</u> Taylor Metal Products Inc.Use manufa	acturer recommended or equal or greater performing.	DIVISION 13
pecification and All exposed to	DIVISION 8 - DOORS AND WINDOW	<u>S:</u>	DIVISION 14
umber. Conceal r stainless steel	weather-stripping, brass anodized me	by owner. Color to be determined. Provide continuous interlocking metal tal threshold, cylinder entry lock access and deadbolt drilling. Double-glazed th windows), as indicated on Drawings. U-Value of doors to be 0.30 or better;	DIVISION 15
number of joints. bers. Coping to nstall with flush similar grain and		have a U-Value of 0.30 or better. Provide screens at sliding doors only when en, Sierra Pacific, Weathershield or equal as approved by Owner.	Existing HVA0 Navien Model meeting optio
5		core, clear coated (both sides) wood veneer or painted both sides. Color to ner. All pocket-doors premium track and roller hardware. Verify w/Owner.	SOURCE SPI All existing ex
		ay Aluminum with clear coat, style to be selected by owner.	METAL DUCT Joints taped,
l and horizontal,	be determined by owner.	ner, key lock exterior, knob lock interior, with separate dead bolt to match. To her. Provide privacy locks at all bathrooms and bedrooms; passage latch at all	GARAGE/ CA Ducts in the garage/carpor
	others unless noted otherwise; matchi	ng hinges to match latch sets. Verify w/Owner. bors, 1-1/2 pair butts on 6'-8" or 7'-0" doors.	the protected
	Provide door-stops to match hardware		EXHAUST FA Provide exhau
	WINDOWS:	ave white finish with insulated low E glazing. Window performance and	THERMOSTA
	construction to conform with IRC Sec	nyl - white finish, with insulated low-E glazing. Window performance and tion R609. Simulated divided lites shall have 1" bead stop profile. Hardware casement openings shall have roto hardware. All openings weather-stripped	Provided by N
ter than 48" high	by manufacturer; General Contractor per manufacturer's specifications. Pro all sleeping rooms per IRC Section R3	shall install "Z"-flashing at heads of all windows and seal window perimeter ovide insect screens at all operable locations. Egress shall be provided from 310. General Contractor shall review all tempered glass and egress locations.	GAS APPLIA Outdoor Lifes fireplaces.com
l).		on R308.4. U-Value of all new window glazing to be 0.30 or better. Provide or equal, as approved by Architect/owner.	PLUMBING: All plumbing
orporation. The and dry, and the n-shrinking grout	SKYLIGHTS: Install skylights and slop	ed glazing per IRC 308.6.	Provide seism (provide 1" m water. Sourc Drawings. Pr
			To achieve W
in dampproofing eet barrier, Delta			flow of 1.75 G

THERMAL INSULATION:

DIVISION 9 - INTERIOR FINISHES:

1/2" GWB on walls and ceilings; 5/8" GWB on any ceilings with framing @ 24" o.c. sum drywall construction fire resistant ratings indicated install water- resistant backing board ir nd other similar "wet" areas not otherwise indicated to revive "wonderboard" and tile. Install compound efill of cracks recommended by manufacture); sand after last 2 coats. Screw (absolutely no nails) and tape: As recommended by gypsum board manufacture and as indicated In the drawings. nd: United states Gypsum Co. use water-resistant joint compound with water resistant backing board. th-walls beads: verify with Architect & Owner as required.

FLOORING ed by owner. Apply (3) coats Swedish finish. Install flush wooden floor grilles per mechanical for air venting. Verify location of grilles with Architect & Owner.

flush wooden floor grilles per mechanical requirements. Verify location of grilles w/Owner.

BINETRY: ner.

TONE WORK/ HARD SURFACE COUNTERTOPS recommendation contained in national Granite Quarries Assoc., INC. (NBGQA). Stone Slab: Not yet verify with owner. Grout: Hydroment, color as selected by owner. Sealants: as recommended by

bod trim to be MDF unless noted otherwise. Verify w/Owner.

nce First Floor shall have a 1/2 x 5 Verify w/Owner MDF baseboard trim. Rooms with ceramic tile have a ceramic tile base. Verify w/Owner.

mortar and grout materials and installation standard of the American National Standee Institute (ANSI) cification for ceramic tile and manufacturer's instructions for glass mesh mortar units (wonederboard) ture's requirement at bathrooms. Verify exposed edge of the tile meeting carpet, wood, or resilient ss otherwise indicated. ment, color as selected by owner. e -part mildew-resistant silicone sealants per manufacture.

IFICATIONS:

BUILT-IN IRONING BOARD: N/A h with owner prior to proceeding. Colors will be selected by owner from standard color available for the DOOR CHIME: lired. Apply required prime coat to materials. Provide barrier coats over incompatible primers where Provide wired Dimango door chime and push button; style and color to be determined. Verify w/Owner. ovide finish coats which are compatible with primers. Sand lightly between lacquer coats. Apply ts until paint film is of uniform finish, color and appearance. INTERNAL MEDIA WIRING: Verify and provide telephone, cable, and Internet requirements per Owner. ainted metal: first coat: Poly-amide epoxy second coat: aliphatic polyester finish coat: urethane teel: exposed exterior galvanized steel left unpainted. SOUND SPEAKERS: Provide recessed sound speakers per Owner. king, siding, exterior cedar trim and soffit boards: see specification - division 6 - wood and plastics

GROUND FAULT CIRCUIT INTERRUPTER PROTECTION: Ground fault interrupter required in all bathrooms, on or above countertops within six feet of any sink, in all doors: prime and two coats Benjamin Moore Imprevo. Color to be selected by owner. accessible garage areas, in all crawl spaces, all outdoor areas, and any other locations as required by the NEC.

r doors: Two coats tinted semi-transparent UV resistant lacquer. - color to be selected by owner. SWITCHES/OUTLETS AND COVER PLATES: trim: Two coasts clear semi-gloss transparent UV resistant lacquer or prime and tow coast oil based All switches and outlets shall be blocked out from openings such that cover plates will not conflict with door and namel. Review with owner locations of paint versus lacquer. window trim or decorative molding, unless noted otherwise. Supply and install cover plates on all electrical, telephone, and cable outlets. All cover plates shall be Decora or equal; color to be determined. pat: PVA sealer-primer second coat: interior flat latex (semi-gloss latex enamel in wet locations) third

flat latex (semi-gloss at wet locations). panels: two coats shop applied clear tinted semi-transparent UV resistant lacquer. Touch up field cuts /erify w/Owner.

- SPECIALTIES:

TH ACCESSORIES: Existing - Not Applicable ner specs. for all mirrors, towel bars, toilet paper dispensers and any other accessories, whether shown not. Provide blocking for all accessories as indicated on drawings. YSTEMS:

Owner on closet storage systems.

- EQUIPMENT:

OR OPENERS: MIN. EACH

- FURNISHINGS: N/A

- SPECIAL CONSTRUCTION: N/A

- CONVEYING SYSTEMS: N/A

- MECHANICAL:

ID VENTILATION:

C system to remain I: NPE-240A-NG Tankless water heater, 199,900 Btu/hr Max, UEF rating .96 on 5c of WSEC for 1.5 credits.

ECIFIC EXHAUST FANS: chaust fans shall remain. No new fans added.

insulated per WSEC 403.2

ARPORT DUCTS:

garage/carport and ducts penetrating the walls or ceilings separating the dwelling from the rt must be a minimum of 26 gauge sheet metal with no register outlets into the garage. Ducts outside envelope are excluded from these regulations.

ANS: Existing: Not applicable ust fans where shown on Floor Plans A2.0, A2.1.

AT(S): Aechanical Contractor; verify location(s) w/Owner.

NCE FIREPLACES: styles, by Hearth & Home Technologies, Lanai ODLANAIG51 outdoor gas fireplace- verify w/Owner

om (800) 927-6841.

to be installed per the UPC. Existing, gas-fired, (verify capacity) water heaters with R-12 insulation. nic straps per the UPC. Drain hot water tank pressure-relief valve to outside of building or to floor drain inimum air gap) using hard-drawn copper piping. Provide reticulating pump and plumb for instant hot ces of ignition must be kept at least 18" above floor line. Provide plumbing to all fixtures shown on ovide insulation foam at all floor, roof, and wall plumbing penetrations.

/SEC Credit Option 5a per Table 406.2 all showerhead and kitchen sink faucets shall have maximum GPM. All other lavatory faucets shall be rated at 1.0 GPM or less.

SPRINKLER SYSTEM:

Type: Flow-through protection systems. N/A

Automatic sprinklers are required per NFPA 13D and City of Mercer Island Fire Department Standards. Provide a 1" minimum meter connection. Sprinkler system to provide coverage throughout structure, including decks and garage. Designed by a Washington State Certified Engineer. Construction shall conform to the requirements of International Fire Code chapter 14. The system shall be installed, inspected, tested, and approved prior to framing inspection approval. A separate permit may be required. All sprinkler heads shall be recessed. Coordinate locations with lighting plan, typical. Verify with General Contractor & Architect.

DIVISION 16 - ELECTRICAL

All work shall conform to current and applicable codes and shall be coordinated with the General Contractor. Electrical Contractor shall verify requirements to wire and hook up all exhaust fans, appliances, furnaces, air conditioners and all other equipment requiring electrical service. Electrical Contractor shall verify and acquire approval of panel distribution and service from Owner and General contractor prior to installation.

INSULATION FOAM: Provide insulation foam at all floor, roof, and wall electrical penetrations.

LIGHTING FIXTURE LAMPS: Provide and install GE or Sylvania lamps. All incandescent lamps recessed into insulated areas shall be approved for zero-clearance insulation cover All fluorescent lamps shall be full-spectrum.

ATTIC SPACES:

Required access opening in all concealed attic areas that exceed 30 sf and have a vertical height of 30" or greater measured from top of ceiling framing members to the underside of the roof framing members. See floor plan for location. Attic access rough-frame opening shall not be less than 22"x30" and shall be located in hallway or accessible location. Section R807.1

SMOKE & CARBON MONOXIDE DETECTORS:

See Sheets A2.0, A2.1, A2/2. Provide and install smoke detectors per IRC Section R314. Hardwire 110-volt unit with battery backup. In alterations, repairs and additions provide and install additionally per IRC Section R314. Provide and install Carbon Monoxide detectors per IRC section R315.

WALL MOUNTED LIGHT FIXTURES: All wall mounted fixtures shall be mounted +80" from finish floor to centerline of fixture, unless noted otherwise. At bottom light valence, light fixture shall be mounted at +84" and top of mirror shall be at +80".

EAVES: Provide waterproof duplex outlets under the eaves where shown in drawings. Color shall be approved by Architect & Owner.

ENERGY CODE COMPLIANCE NOTES:

1. Duct leakage test results shall be provided to the building inspector and home owner prior to the approved final inspection. Ducts shall be leak tested in accordance with WSU RS-33, using the maximum duct leakage rates specified. Duct tightness shall be verified by either of the following:

1. Postconstruction test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the entire system, including the

manufacturer's air handler enclosure. All register boots shall be taped or otherwise sealed during the test. Leakage to outdoors shall be less than or equal to 4 cfm (133.3 L/min) per 100 square feet of conditioned floor area.

2. Rough-in test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. All registers shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 3 cfm (85 L/min) per 100 square feet (9.29 m2) of conditioned floor area. The test results shall be posted on the Residential Energy Compliance Certificate (WSEC 401.3). This shall be present to the inspector as a signed affidavit documenting the duct leakage testing results.

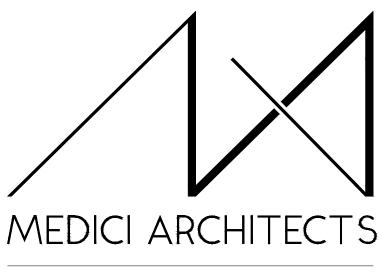
Exception: The total leakage test is not required for ducts and air handlers located entirely within the building thermal envelope. Ducts located in crawl spaces do not qualify for this exception.

2. A Residential Energy Compliance Certificate complying with WSEC 401.3 is required to be completed by the design professional or builder and permanently posted within 3' of the electrical panel prior to the final inspection. 3. Minimum 75% of all interior luminaries shall be high efficacy luminaries and all exterior lighting shall be high

efficacy luminaries. 4. Per Requirement for Additions greater than 500 sf, 1.5 energy credit points must be met per table R406.2. Options 5c (Efficient Water Heating) are to be used.

5. Each dwelling unit is required to be provided with at least one programmable thermostat for the regulation of temperature.

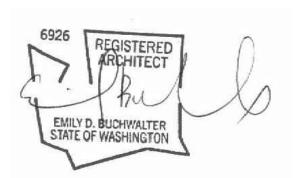
6. Per WSEC R402.4, the building thermal envelope shall be constructed to limit air leakage. The results of the test shall be signed by the party conducting the test adn provided to the code official . (R402.4.1.2)



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REGISTRATION:



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REVISIONS:	DATE:
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9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

DRAWING NAME:

GENERAL NOTES

Drawn By: JMG,RB Checked By: EB Owner Approval:

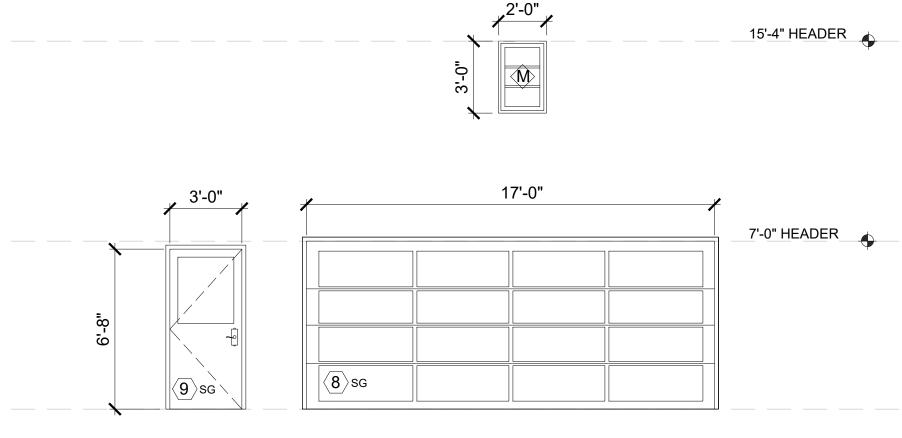
PHASE: **CONSTRUCTION DOCUMENTS**

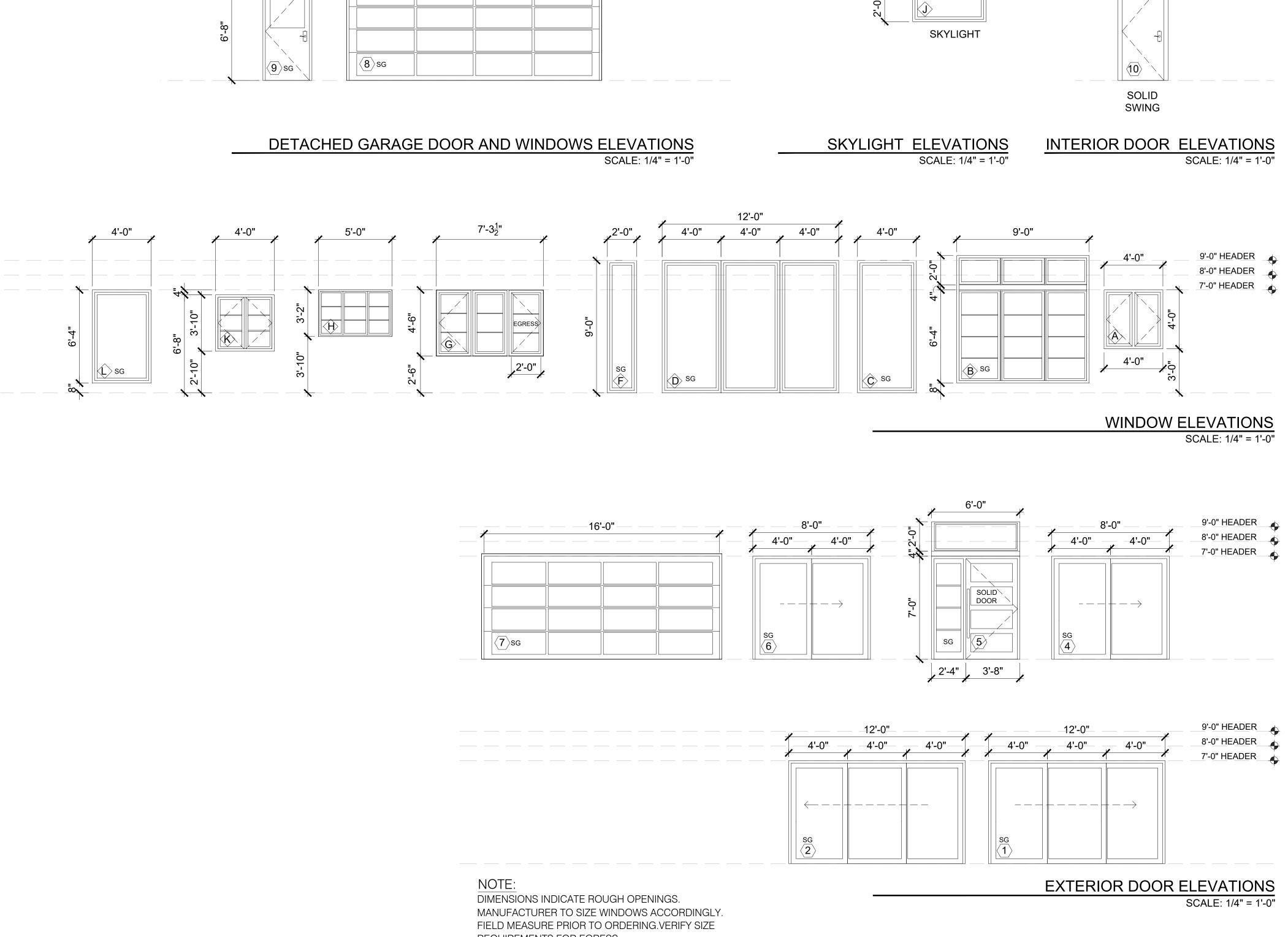
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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007 DATE: 12-22-2020

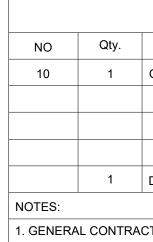
A0.3





	 16'-0"	

REQUIREMENTS FOR EGRESS.



VARIES

6'-8" HEADER

5'-0"

2. ALL EXTERIOR TRUE 3. VERIFY ALL DOOR T

NO	Qty.	LOCATION	WIDTH	HEIGHT	AREA	MANUF.	U-VAL	TYPE	SCREEN	HARDWARE	REMARKS
А	1	NEW EXERCISE ROOM	4'-0"	4'-0"	16.00	TBD	0.28	CSMT/CSMT	Y	TBD	
В	1	FORMAL DINING ROOM	9'-0"	8'-4"	74.70	TBD	0.28	FIXED	N	TBD	TRANSOM, GRIDS
С	1	FAMILY ROOM	4'-0"	9'-0"	36.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS
D	1	FAMILY ROOM	12'-0"	9'-0"	18.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS, MULLE
E	1	EXISTING WINDOWS									
F	1	FAMILY ROOM	2'-0"	9'-0"	18.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS
G	1	BEDROOM 3	7'-3.5"	4'-6"	32.85	TBD	0.28	CSMT/CSMT/CSMT	Y	TBD	EGRESS, GRIDS
Н	1	ABOVE FOYER	5'-0"	3'-2"	15.50	TBD	0.28	FIXED	Ν	TBD	GRIDS, SAFETY GLAS
I	1	NOT USED	0	0	0.00						
J	1	FOYER	2'-0"	5'-0"	10.00	TBD	0.43	SKYLIGHT	Ν	TBD	SKYLIGHT
К	1	NEW OFFICE	4'-0"	3'-10"	8.34	TBD	0.28	CSMT/CSMT	Y	TBD	GRIDS
L	2	NEW EXERCISE RM INTERIOR	4'-0"	6'-4"	50.40	TBD		FIXED	Ν	TBD	STOPPED IN GLASS
Μ	1	DETACHED GARAGE WINDOW	2'-0"	3'-0"	6.00	TBD		FIXED	N	TBD	NON CONDITIONED
					229.39		0.28		64.23		
					10.00	SF	0.43		4.3		NOTE: SEE A0.3 & A4.0,1,2 FC
	14	WINDOW COUNT						U X A =	68.53		WINDOW DIVISIONS
OTES:											
		⊥ RACTOR SHALL PROVIDE MANUFACT EGRESS REQUIREMENTS PRIOR TO C					THE 2015 WA	SHINGTON STATE ENERGY	CODE. CONTR	RACTOR TO FIELD	VERIFY ALL WINDOW AND

3. ALL WINDOWS TO BE NFRC CERTIFIED AND LABELED

NO	Qty.	
1	1	
2	1	
3	0	
4	1	
5	1	
6	1	
7	1	
8	1	
9	1	
TOTAL		
NOTES:		
		_

INTERIOR DOOR SCHEDULE						
LOCATION	w	н	MANUF	TYPE	HARDWARE	REMARKS
OFFICE	2'-8"	6'-8"	TBD	SOLID SWING		
					ALL HARDWARE TO BE	
BRUSHED NICKEL FINISH 2- PAIR OF BUTT HINGES FOR						
					8'-0" DOORS	
DOOR COUNT						
	·					
TOR SHALL PROVIDE MANUFACTURER'S DA	TA ON ALL	WINDOWS	SHOWING CO	OMPLIANCE WITH THE 2015 WASHIN	IGTON STATE ENERGY CODE.	
E DIVIDED FIXED TRANSOM GLAZING TO BE	POSITIONEI	D AT UPPE	ER SASH LOCA	ATION.		
/PES & HARDWARE W/OWNER PRIOR TO ORDERING.						

4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=.28 MAX. PER WSEC 2015

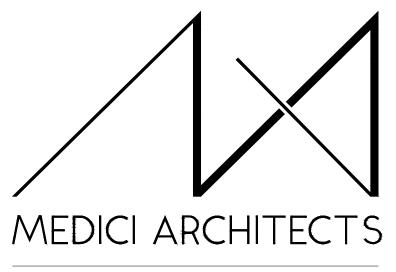
EXTERIOR DOOR SCHEDULE CONFIGURATION REMARKS LOCATION W H MANUF. AREA U-VAL TYPE HARDWARE 7'-0" 0.28 SLIDING XXO SAFETY GLASS NEW EXERCISE ROOM 12'-0" TBD 84.0 7'-0" TBD 84.0 0.28 SLIDING XXO SAFETY GLASS NEW SITTING ROOM 12'-0" TBD NOT USED 0.0 0.28 0 0 8'-0" 7'-0" TBD SAFETY GLASS KITCHEN 56.0 0.28 SLIDING XO ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2- PAIR OF BUTT HINGES SOLID SWING WITH SIDE LITE & TRAMSOM FOYER 6'-0" 9'-0" TBD 54.0 0.28 SAFETY GLASS FOR 6'-8"/ 8'-0" DOORS 8'-0" 7'-0" TBD 56.0 0.28 SLIDING XO SAFETY GLASS MASTER BEDROOM GARAGE DOOR OPENER, SEE ELEVATION FOR DOOR OVER HEAD GARAGE GARAGE 7'-0" 16'-0" TBD Х DOOR PATTERN GARAGE DOOR OPENER, SEE ELEVATION FOR DOOR OVER HEAD GARAGE DETACHED GARAGE 17'-0" 7'-0" TBD Х PATTERN DOOR ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2- PAIR OF BUTT HINGES 1/2 LIGHT, SAFTY GLASS DETACHED GARAGE 3'-0" 8'-0" TBD 0.28 SOLID SWING Х ENTRY FOR 6'-8"/ 8'-0" DOORS SF 334.0 0.28 TOTAL U x A = 93.5 1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.

2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH LOCATION.

3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.

4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=.28 MAX. PER WSEC 2015

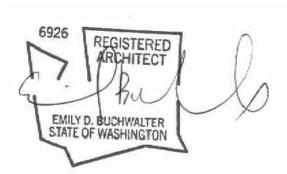
5. ALL DOOR WITH GLAZING TO BE NFRC CERTIFIED AND LABELED



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REVISIONS:	DATE:
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PROJECT / CLIENT:

9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

DRAWING NAME:

SCHEDULES

from the Architect.

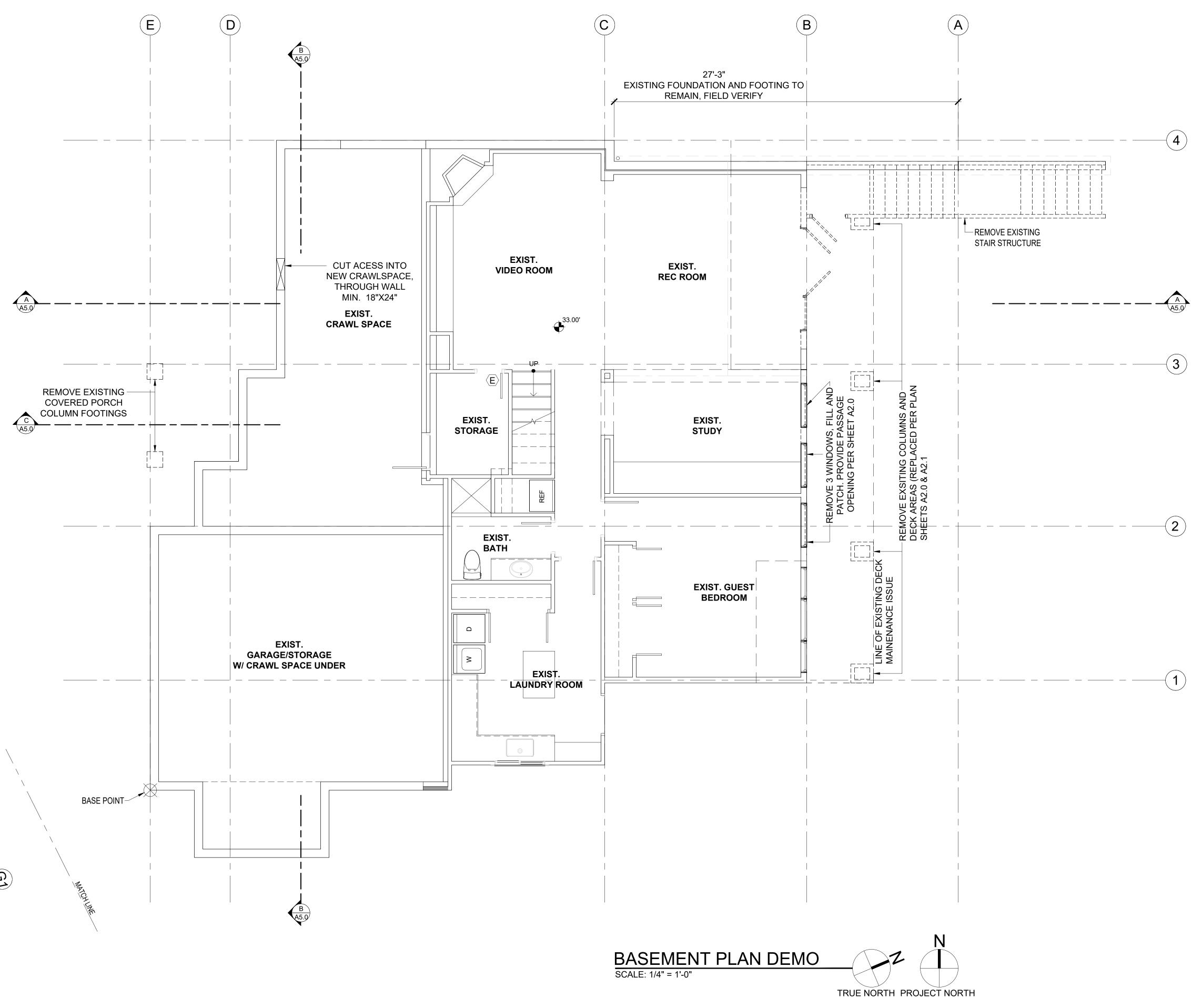
Drawn By:	JMG,RB
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A0.4

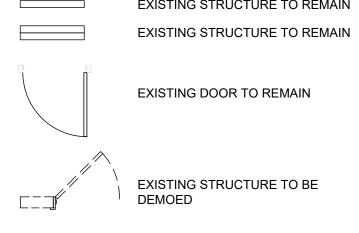
PROJECT No.: 2020 007 DATE: 12-22-2020

G



- PRIOR TO CONSTRUCTION.
- REQUIRED.
- HEADERS.

SYMBOL LEGEND



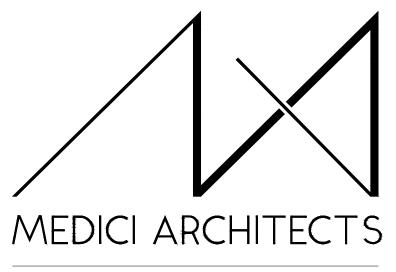
DEMOLITION PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS 2. REFER TO SITE PLAN FOR ANY SITEWORK TO BE REMOVED. 3. RELOCATE EXISTING UTILITIES AS REQUIRED TO ACCOMODATED NEW ADDITION AND CONSTRUCTION. DISCONNECT OR CAP ANY UTILITIES AS 5. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM SITE. 6. PROVIDE TEMPORARY SUPPORT WHILE INSERTING NEW BEAMS OR 7. CONTRACTOR TO SEAL OFF WORK AREAS TO REDUCE DUST FROM ENTERING OCCUPIED AREAS. 8. REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK. 9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

EXISTING STRUCTURE TO REMAIN

EXISTING DOOR TO REMAIN

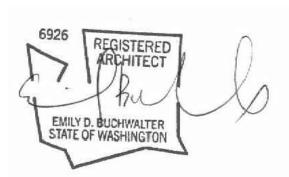
EXISTING STRUCTURE TO BE DEMOED



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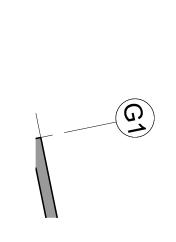
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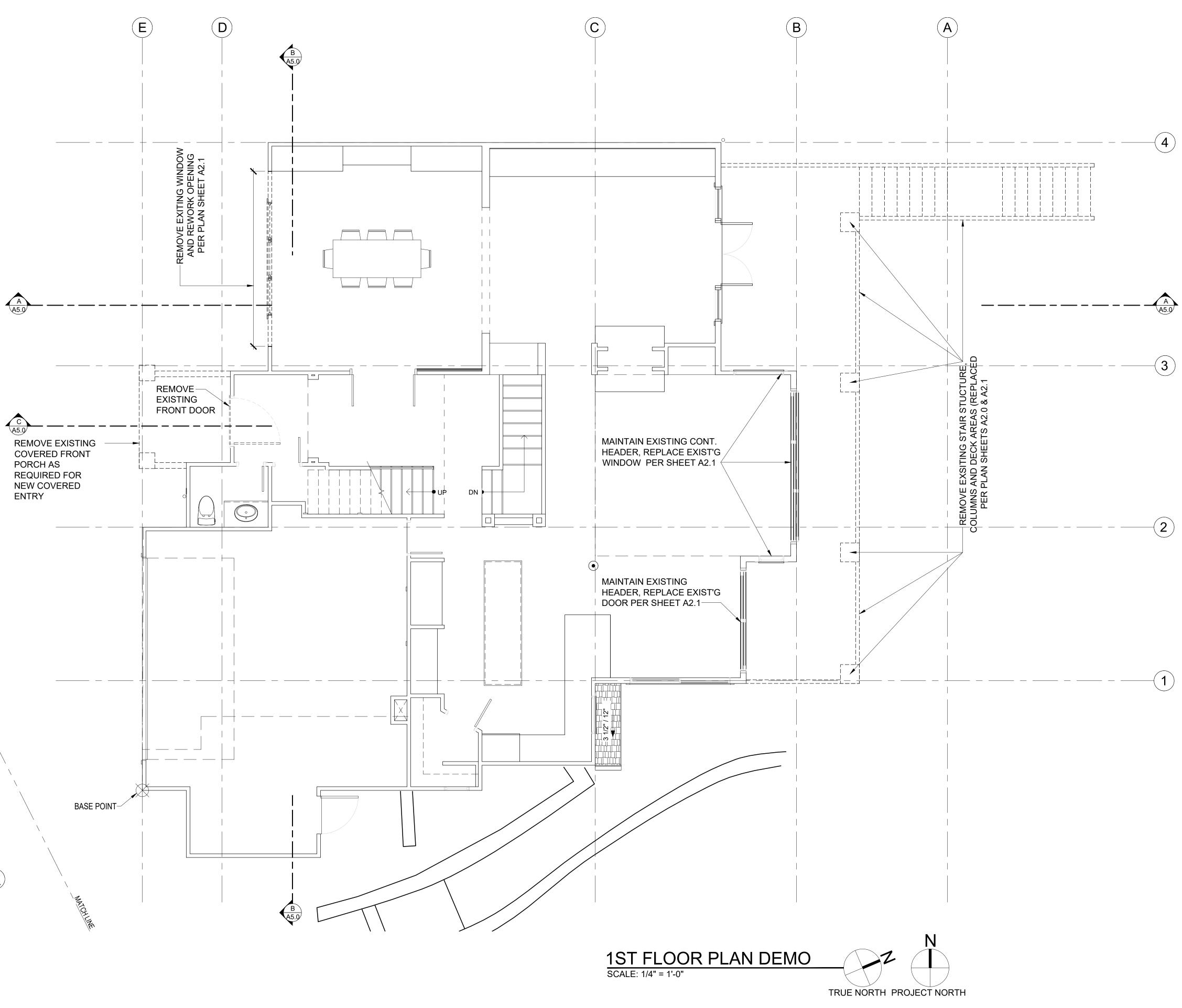
JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

DRAWING NAM	E:	
DEMOLITIC BASEMENT		
Drawn By: JM	MG,RB	
Checked By: El		
Owner Approval		
PHASE:		
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DATE:	12-22-2020	
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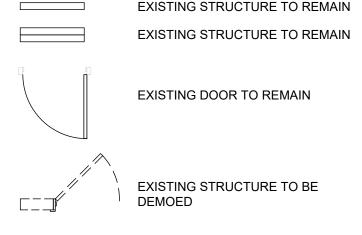






- PRIOR TO CONSTRUCTION.
- REQUIRED. HEADERS.
- ENTERING OCCUPIED AREAS.

SYMBOL LEGEND



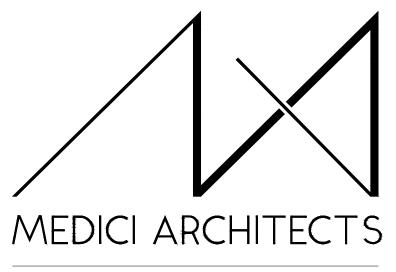
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EXISTING STRUCTURE TO REMAIN

EXISTING DOOR TO REMAIN

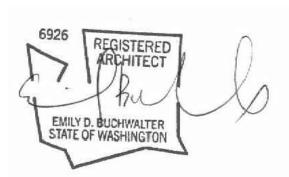
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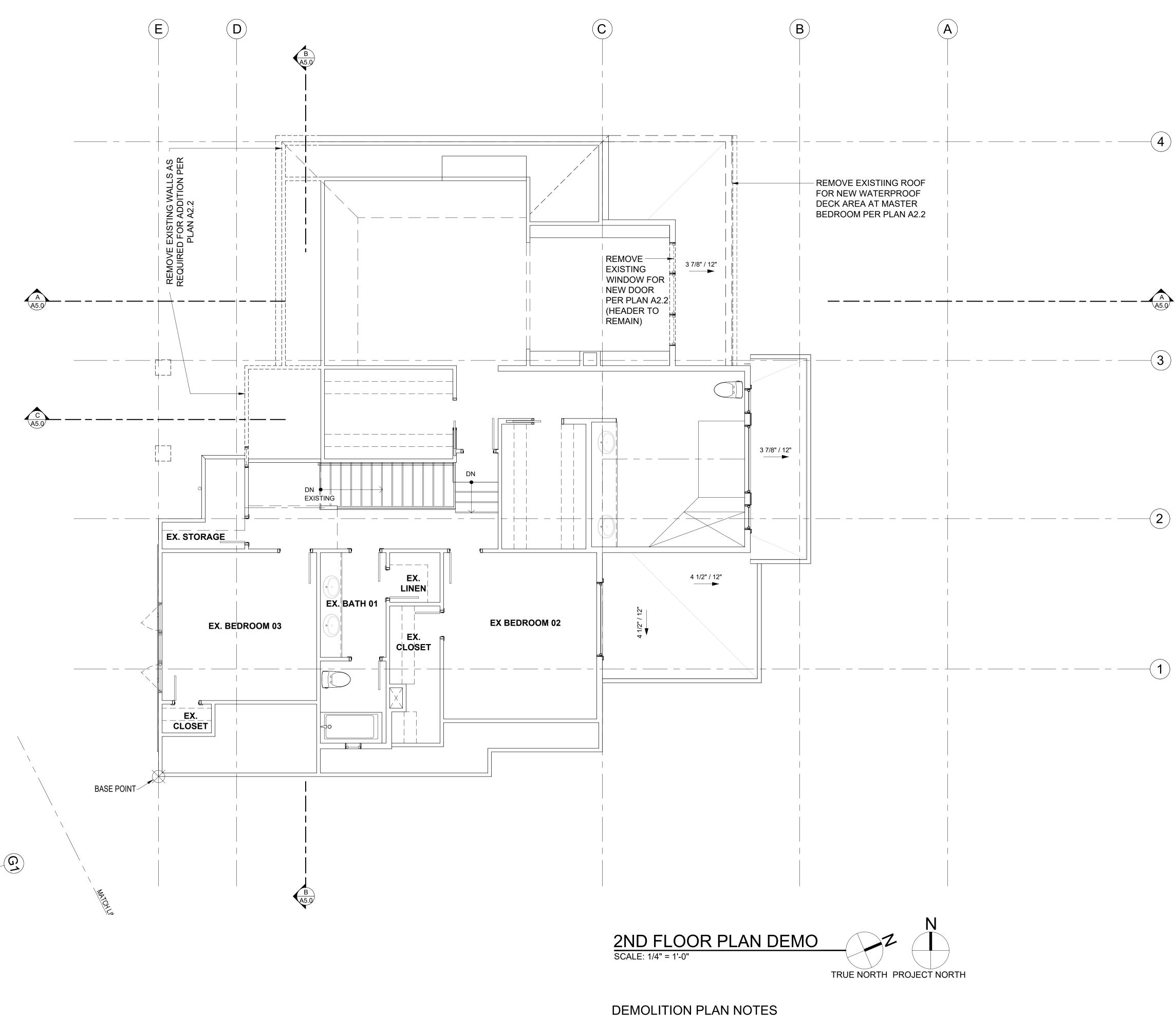
DATE: **REVISIONS**:

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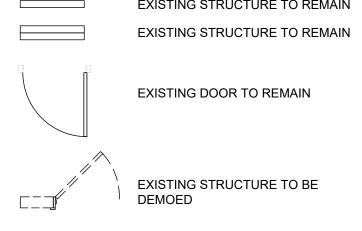
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- REQUIRED.
- HEADERS.
- ENTERING OCCIPIED AREAS.

SYMBOL LEGEND

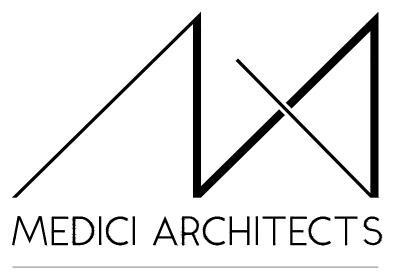


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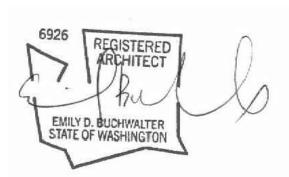
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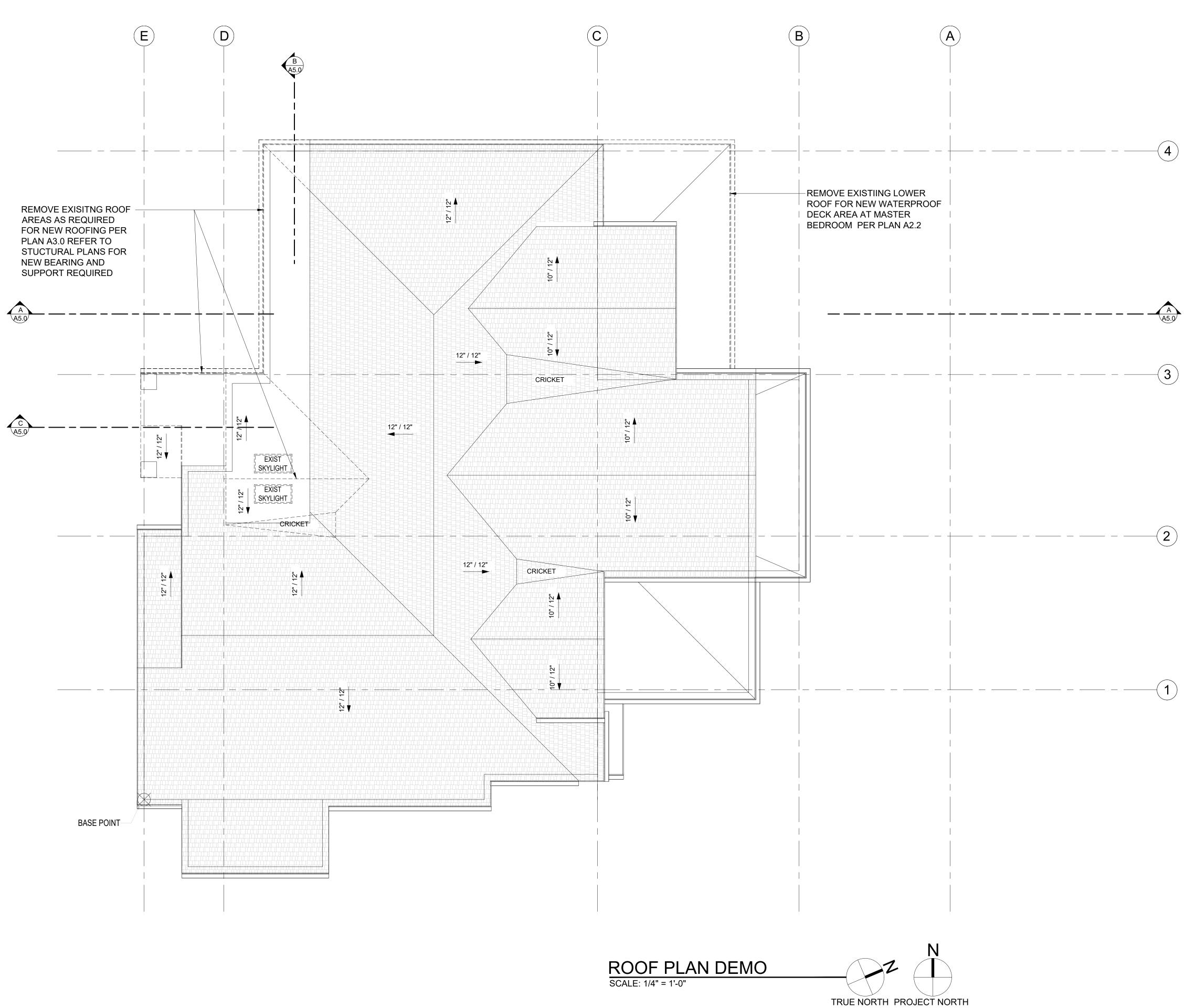
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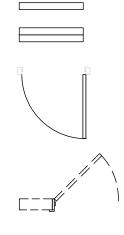
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DRAWING NAME:	
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Drawn By: JMG Checked By: EB	,КВ
Owner Approval:	
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- REQUIRED.
- HEADERS.

SYMBOL LEGEND



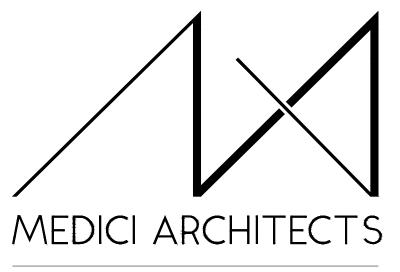
DEMOLITION PLAN NOTES

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EXISTING STRUCTURE TO REMAIN EXISTING STRUCTURE TO REMAIN

EXISTING DOOR TO REMAIN

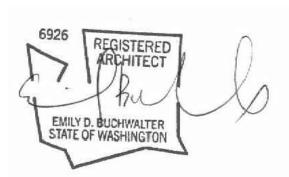
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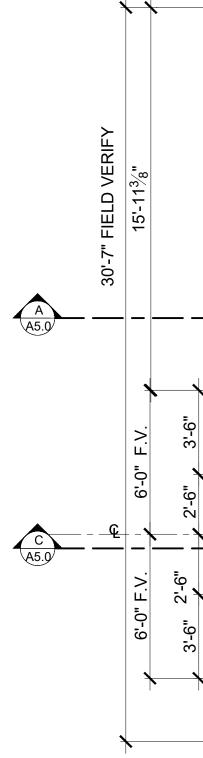
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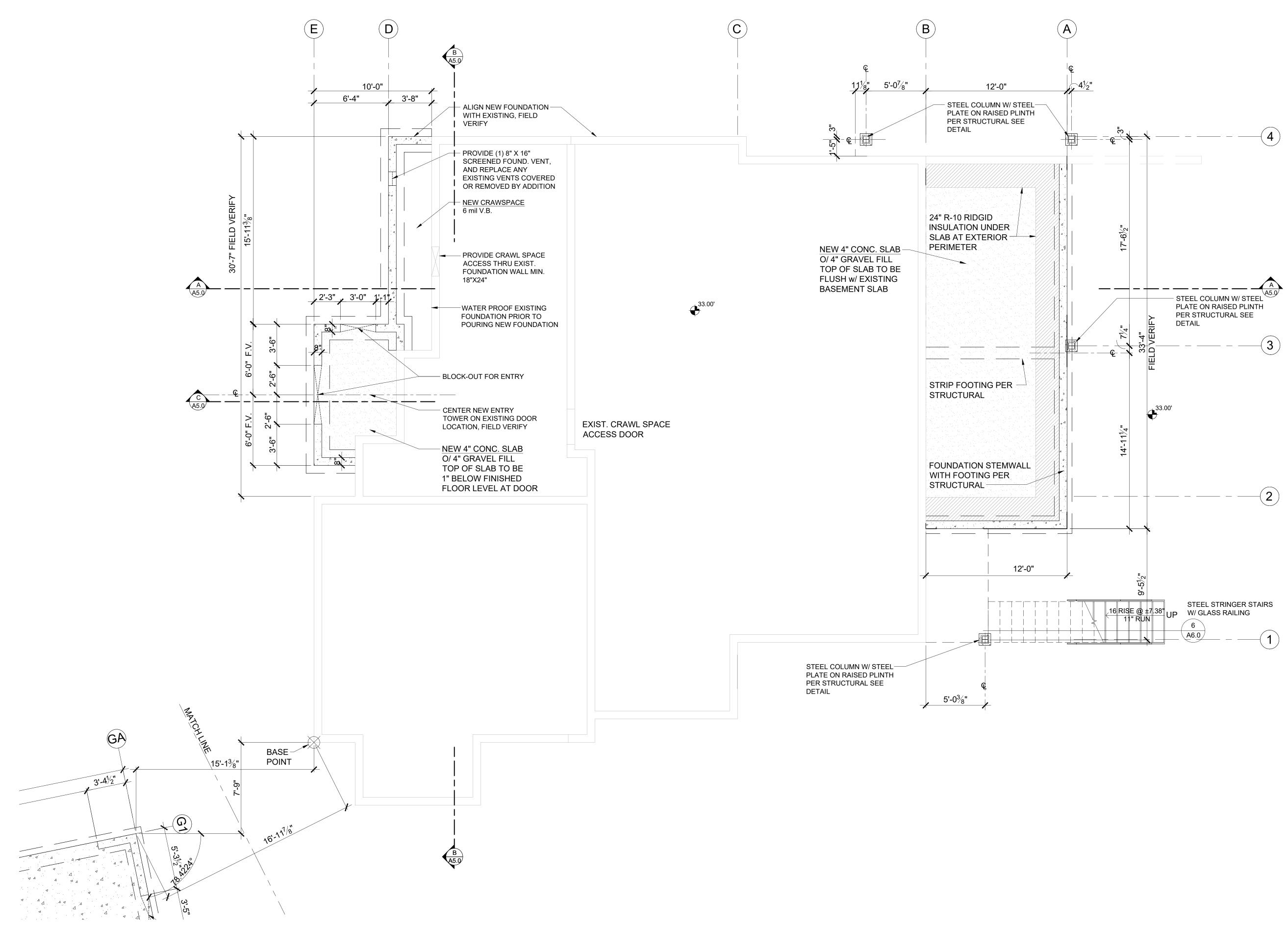
REVISIONS:

PROJECT / CLIENT:

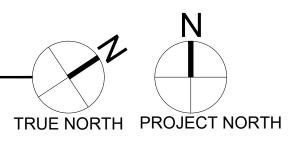
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Checked By:	
Owner Approv	val:
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FOUNDATION PLAN SCALE: 1/4" = 1'-0"



CRAWL SPACE - VENTILATION CALCULATION				
Added Crawl Space Area:	51	s.f.		
Ventilation Required:	51	s.f. x 144 s.i.1 /1,500*=	4.9	s.i. Req'd
Use:	16"x8"	Foundation Vents		
Vent Area =	98.0	s.l 25% reduction + 1/4" mesh	73.5	s.l.
Number of vents required:	4.9	s.l. / vent area	0.1	vents
Provide:	1.0		73.5	Provided
Total Min. Ventilation Provided =	73.5	s.i. IS GREATER THAN	4.9	s.i. Req'd
* 2015 IRC - PER R408.1 THE TOTAL OF THE UNDER-FLOOR AREA WHEN RETARDER MATERIAL AND THE RE	RE THE GROUND	SURFACE IS COVERED WITH AN A	PPROVED CLAS	SS I VAPOR

SYMBOL LEGEND

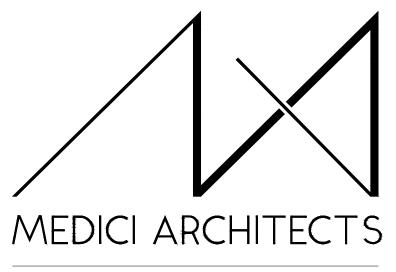
EXIST.FOUNDATION WALL

SLAB ON GRADE

NEW FOUNDATION WALL w/ FOOTING

POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

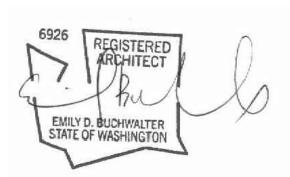
CRAWL SPACE VENT



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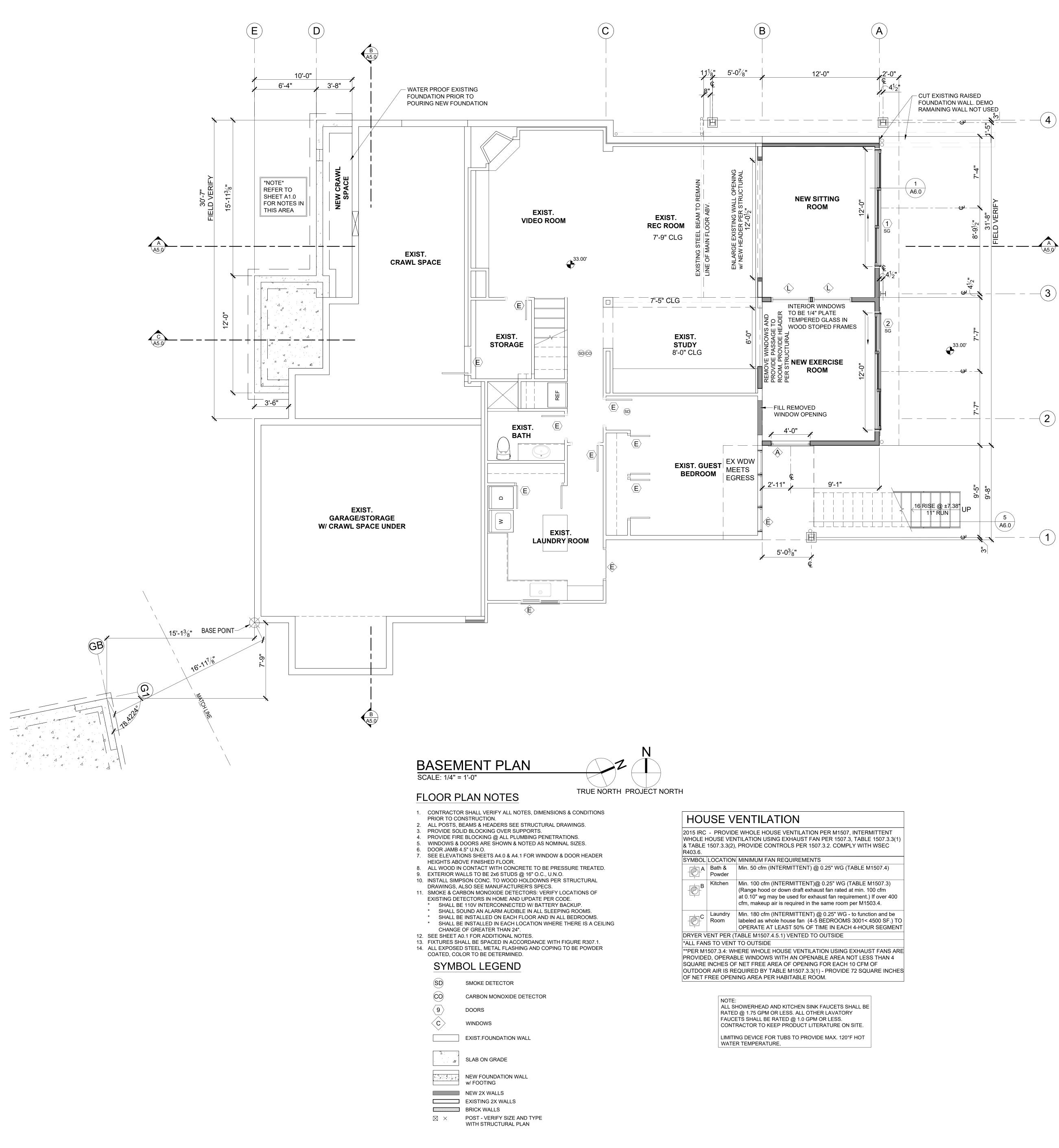
PROJECT / CLIENT:

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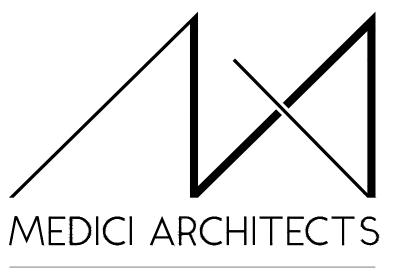
JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

DRAWING NAME: FOUNDATION PLAN Drawn By: JMG,RB Checked By: EB Owner Approval: PHASE: CONSTRUCTION DOCUMENTS This drawing is the exclusive property of Medici Architects, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect. APPROVED FOR CONSTRUCTION: П PROJECT No.: 2020 007 _____ DATE: 12-22-2020

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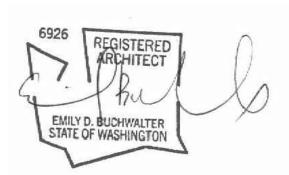
2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6.			
SYMBOL LOCATION MINIMUM FAN REQUIREMENTS			
	Bath & Powder	Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)	
	Kitchen	Min. 100 cfm (INTERMITTENT)@ 0.25" WG (TABLE M1507.3) (Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4.	
-C	Laundry Room	Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-5 BEDROOMS 3001< 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT	



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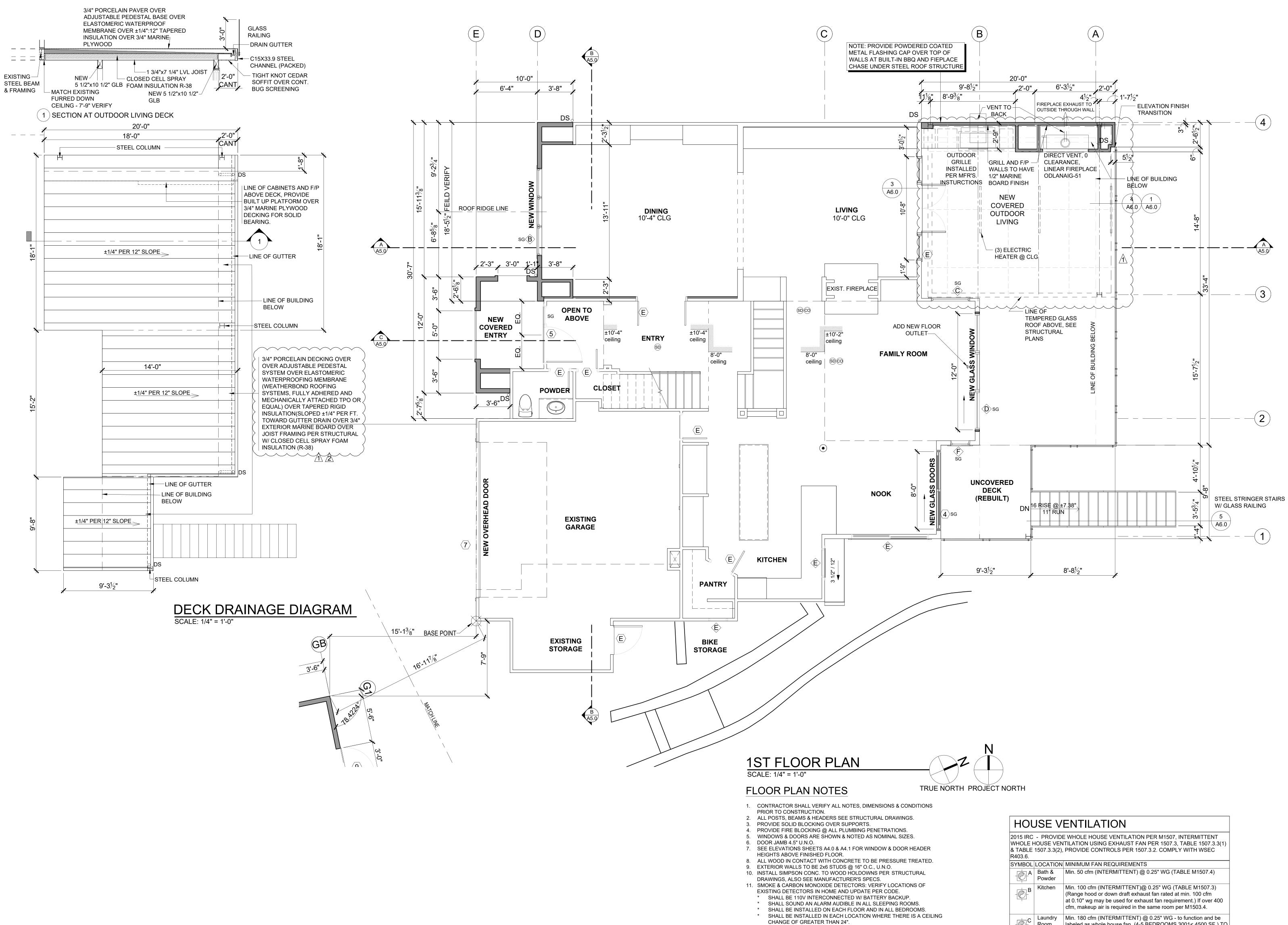
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DRAWING NAME:
BASEMENT
CONSTRUCTION PLAN
Drawn By: JMG,RB
Checked By: EB
Owner Approval:
PHASE:
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PROJECT No.: 2020 007
DATE: 12-22-2020
PLOT SCALE: 1:1 A2.0



SYMBOL LEGEND

SYMBOL LEGEND		
SD	SMOKE DETECTOR	
CO	CARBON MONOXIDE DETECTOR	
9	DOORS	
¢	WINDOWS	
	EXIST.FOUNDATION WALL	
а. Д.	SLAB ON GRADE	
	NEW FOUNDATION WALL w/ FOOTING	
	NEW 2X WALLS	
	EXISTING 2X WALLS	

OUNDATION WALL DTING X WALLS EXISTING 2X WALLS BRICK WALLS \boxtimes × POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

12. SEE SHEET A0.1 FOR ADDITIONAL NOTES. 13. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.

14. ALL EXPOSED STEEL, METAL FLASHING AND COPING TO BE POWDER 15. AT COVERED DECK STEEL POSTS INSTALL WATERPROOF FLUID

MEMBRANE UP TO UNDERSIDE OF PAVER SURFACE. 16. APPLY WATERPROOF FLUID MEMBRANE UP SIDES OF EXISTING

COATED, COLOR TO BE DETERMINED.

STRUCTURE AND FLASH.

FIREPLACE WALL AND FLASH.

17. APPLY WATERPROOF FLUED MEMBRANE AT BUILT-IN CABINETS AND

2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6.				
SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS		
	Bath & Powder	Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)		
- B	Kitchen	Min. 100 cfm (INTERMITTENT)@ 0.25" WG (TABLE M1507.3) (Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4.		
-C Normal Laundry Room Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-5 BEDROOMS 3001< 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT				
DRYER VENT PER (TABLE M1507.4.5.1) VENTED TO OUTSIDE				
*ALL FANS TO VENT TO OUTSIDE				

**PER M1507.3.4: WHERE WHOLE HOUSE VENTILATION USING EXHAUST FANS ARE PROVIDED, OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR IS REQUIRED BY TABLE M1507.3.3(1) - PROVIDE 72 SQUARE INCHES OF NET FREE OPENING AREA PER HABITABLE ROOM.

> NOTE: ALL SHOWERHEAD AND KITCHEN SINK FAUCETS SHALL BE RATED @ 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED @ 1.0 GPM OR LESS. CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.

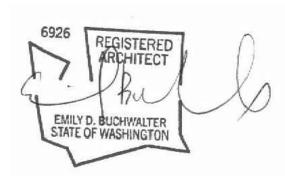
LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.



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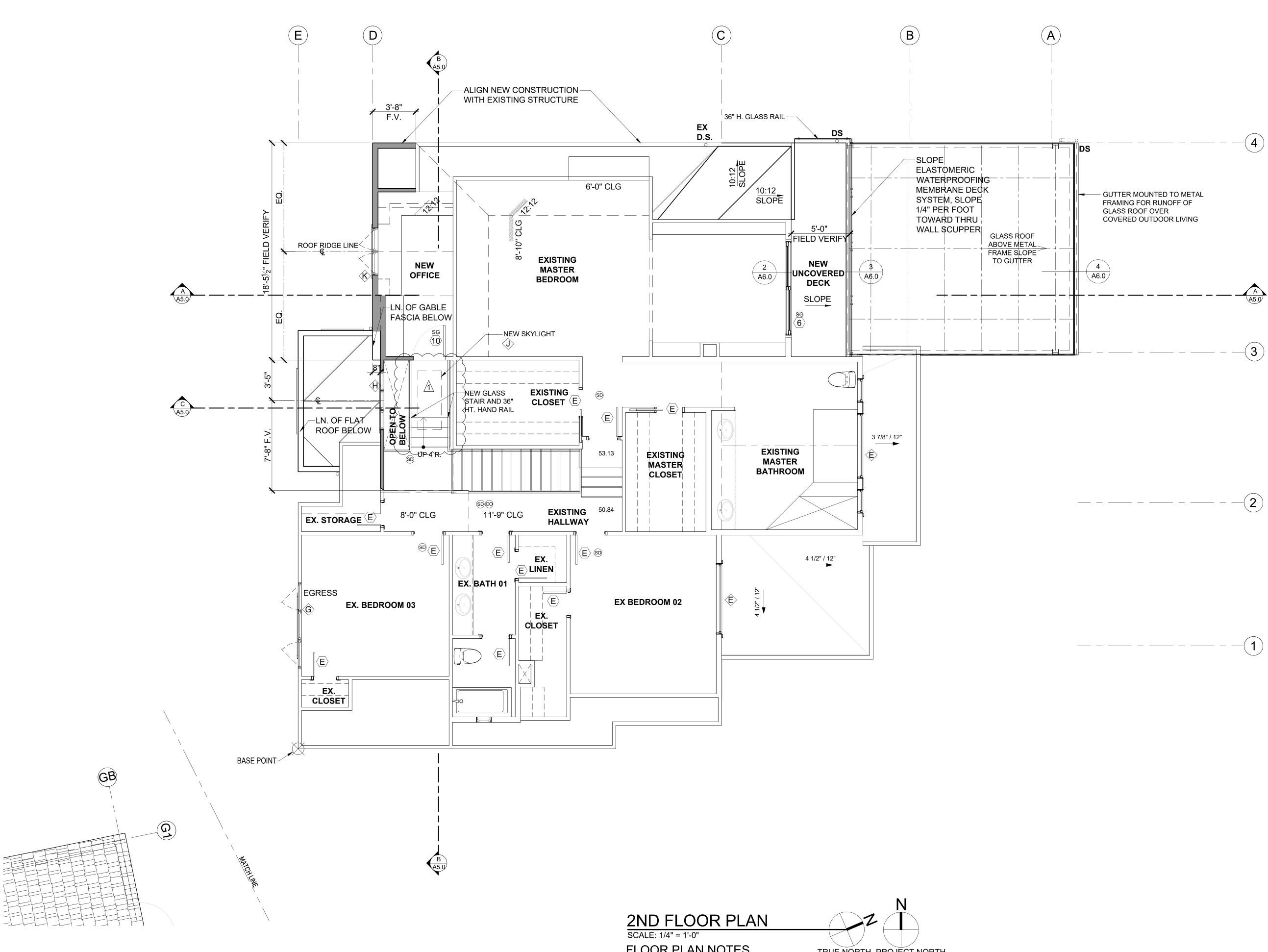
REVISIONS: DATE: 1. A PER COMMENT 01-2005-081- 04-01-2021 2 SUB1-PLANS 3. UPDATED COMMENT PER 06-03-2021 4. SUB2-PLANS

DATE:

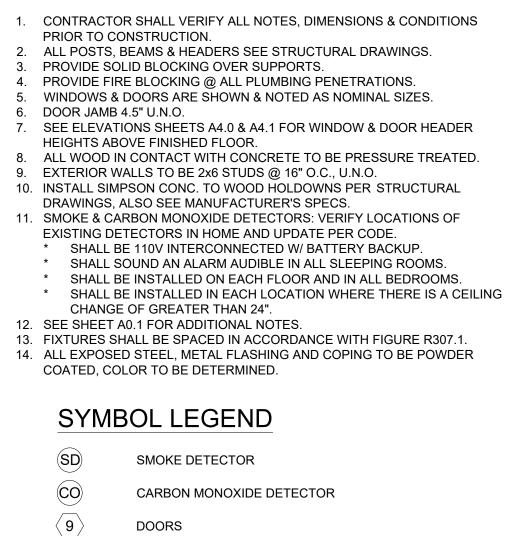
PROJECT / CLIENT:

9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

DRAWING NAME:	
1ST FLOOR CONSTRUCTION PLAN	
Drawn By: JMG,RB	
Checked By: EB	
Owner Approval:	
PHASE:	
CONSTRUCTION DOCUMENTS	
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PROJECT No.: 2020 007	
DATE: 12-22-2020	
PLOT SCALE: 1:1 A2.	1



FLOOR PLAN NOTES



DOORS $\langle c \rangle$ WINDOWS EXIST.FOUNDATION WALL

SLAB ON GRADE

NEW FOUNDATION WALL w/ FOOTING NEW 2X WALLS EXISTING 2X WALLS BRICK WALLS \boxtimes × POST - VERIFY SIZE AND TYPE

TRUE NORTH PROJECT NORTH

HOUSE VENTILATION

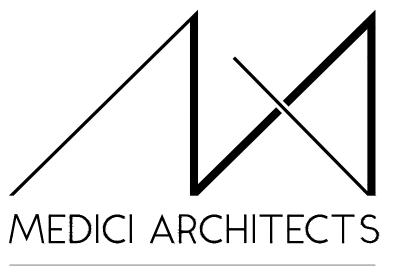
2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1)				
& TABLE R403.6.	1507.3.3(2),	PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC		
SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS		
	Bath & Powder	Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)		
- C	Kitchen	Min. 100 cfm (INTERMITTENT)@ 0.25" WG (TABLE M1507.3) (Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4.		
	Laundry Room	Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-5 BEDROOMS 3001< 4500 SF.) TC OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT		
DDVED VENT DED (TADLE MASSA A 5 4) VENTED TO OUTODE				

DRYER VENT PER (TABLE M1507.4.5.1) VENTED TO OUTSIDE *ALL FANS TO VENT TO OUTSIDE

**PER M1507.3.4: WHERE WHOLE HOUSE VENTILATION USING EXHAUST FANS ARE PROVIDED, OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR IS REQUIRED BY TABLE M1507.3.3(1) - PROVIDE 72 SQUARE INCHES OF NET FREE OPENING AREA PER HABITABLE ROOM.

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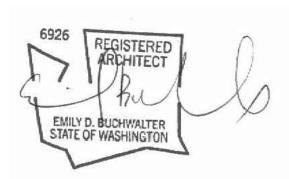
WITH STRUCTURAL PLAN



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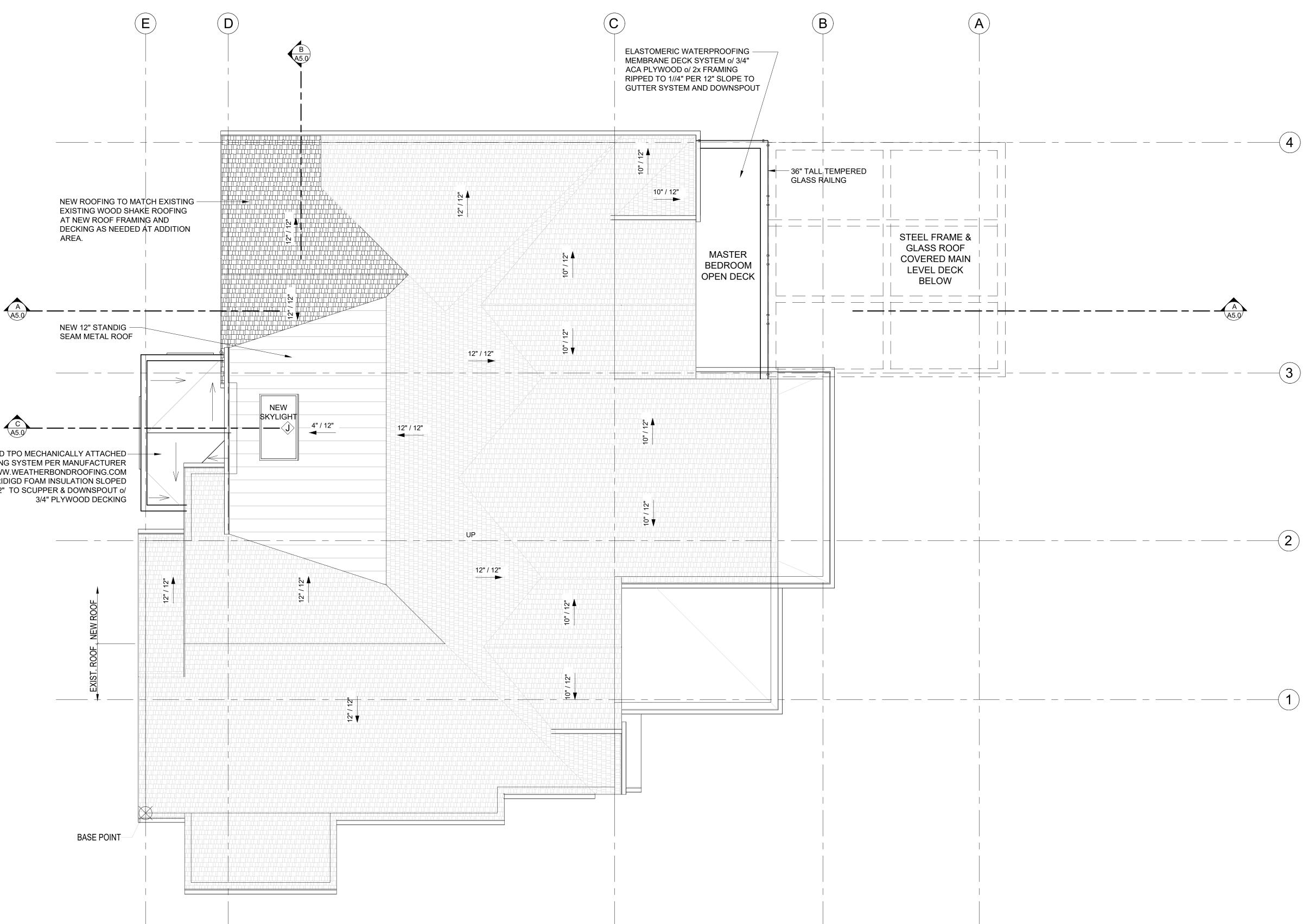
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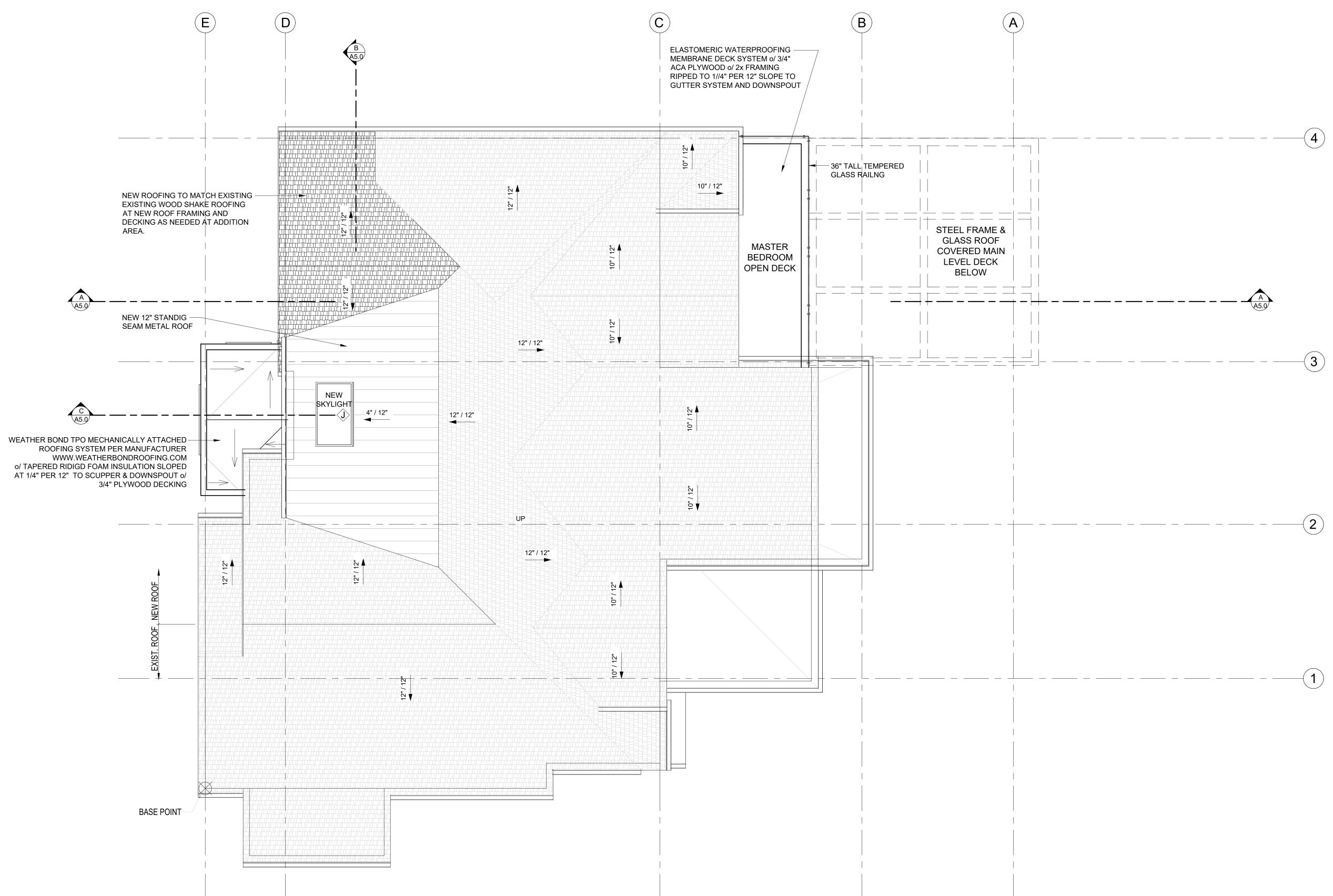
PROJECT / CLIENT:

9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

DRAWING NAM	E:	
2ND FLOOF CONSTRU(-	N
Drawn By: JM	MG,RB	
Checked By: El	В	
Owner Approval:	۱ ۱	
PHASE:		
CONSTRUCTIO	N DOCUMEN	TS
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PROJECT No.:	2020 007	
DATE:	12-22-2020	
PLOT SCALE: 1	:1	A2.2

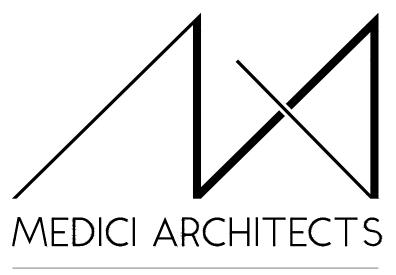






ROOF PLAN SCALE: 1/4" = 1'-0" TRUE NORTH PROJECT NORTH

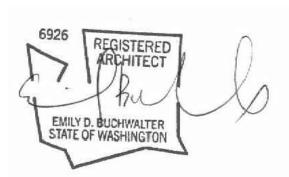
ROO	F - VENTILATI	ON CALCULATION		
Stick built Roof Construction:				
Roof Area:	356.7	s.f.		
Ventilation Required:	356.7	s.f. x 144 s.i. / 300*=	171.2	s.i. Req'd
Proposed Ventilation :				
SmartVent Shingle vent (upper or ridge)	4.5	s.i. nfa / l.f.=	4.5	s.i. / l.f.
Provide :	20.0	I.f. Upper Ventilation =	90.0	s.i.
SmartVent Shingle vent (lower roof edge)	4.5	s.i. nfa / l.f. =	4.5	s.i.
Provide:	20.0	I.f. Eave Edge Ventilation =	90.0	
Total Ventilation Provided	180.0	s.i. IS GREATER THAN	171.2	s.i. Req'd



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JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

DRAWING NAME: **ROOF PLAN** Drawn By: JMG,RB Checked By: EB Owner Approval: PHASE: CONSTRUCTION DOCUMENTS This drawing is the exclusive property of Medici Architects, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect. APPROVED FOR CONSTRUCTION: PROJECT No.: 2020 007 DATE: 12-22-2020

A3.0

ELEVATIONS NOTES & KEY NOTES:

- 1. VERIFY SHEAR WALL NAILING & HOLDOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- 2. MATCH EXISTINGCEDAR SINDING PROFILE AND EXPOSURE, PAINT TO MATCH. INTERWEAVE NEW CEDDAR SIDING TO OLD AND EXTEND VAPOR BARIOR MINIMUM OF 6 INCHES. TRANSITIONS TO BE SEAMLESS.
- 3. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- 4. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION
- RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4. 5. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF
- PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
- 6. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. ROOF DRAINS AND SCUPPERS SHALL BE INSTALLED PER IRC SECTION R903.4. PROVIDE EMERGENCY OVERFLOW PER IRC SECTION 1503.4.1. TYPICAL SEE ROOF PLAN SHEET A3.0. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
- 7. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- 8. STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2; SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
- 9. LIGHTING AT EXTERIOR DOORS, TYP.
- 10. POWDER COATED COPING
- 11. TPO ROOFING: MECHANICALLY ATTACHED ROOFING SYSTEM, LIGHT GREY, SCRIM-REINFORCED THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE. PERIMETER SHEETS ARE INSTALLED ALONG THE BUILDING EDGES AND FIELD MEMBRANE SHEETS ARE MECHANICALLY ATTACHED TO THE ROOF DECK WITH THE APPROPRIATE FASTENERS AND FASTENING PLATES. ADJOINING SHEETS OF MEMBRANE ARE OVERLAPPED AND JOINED TOGETHER WITH A MINIMUM 1-1/2" WIDE HOT AIR WELD. INSTALL PER MANUFACTURER.

GRADE -

- 12. MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
- 13.12" STANDING SEAM METAL ROOFING, INSTALL PER INDUSTRY STANDARDS. COLOR FINISH TO BE SELECTED BY OWNER.
- 14. POWDER COATED STEEL FRAME FOR INSTALLATION OF TEMPERED LAMINATED GLASS ROOF CANOPY, INSTALL BY ROOF CANOPY MANUFACTURER.
- 15. POWDER COATED STEEL COLUMN OR C-CHANNEL PER STRUCTURAL.
- 16.FIRE PLACE VENT 17. HOOD VENT OVER BARBEQUE.
- 18. FRONT ENTRY DOOR: FRONT ENTRY DOOR SHALL BE ALUMINUM, MINIMUM1-3/4" THICK, 42" WIDE SINGLE SOLID DOOR WITH ONE SIDELIGHT AND TRANSOM WINDOW ABOVE, DOUBLE-GLAZED SAFETY GLASS, WITH LOW-E. PROVIDE ANODIZED METAL THRESHOLD, CYLINDER ENTRY LOCK ACCESS AND DEADBOLT DRILLING. U-VALUE OF DOORS TO BE 0.30 (2015 WSEC) OR BETTER. PROVIDE EUTHERM ALUMINUM DOOR OR EQUAL AS APPROVED BY ARCHITECT.
- 19. GLASS RAILING HANDRAIL: SIDE MOUNTED FRAMELESS GLASS RAIL SYSTEM WITH NON-GLARE TEMPERED GLASS PANELS.
- 20. WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS. 21.PORCELAIN PAVERS DECK SYSTEM INSTALL PER POCELANOSA MANUFACTURER
- INSTRUCTIONS.
- 22.WOOD DECKING OVER RIPPED CEDAR DECK JOIST OVER 3/4" MARINE BOARD WATER MEMBRANE ROOFING PER IRC. R905.13 AND CLOSED CELL SPAY FOAM R-38.
- 23.STONE TILE VENEER. 24.BLACKEN STAINLESS STEEL

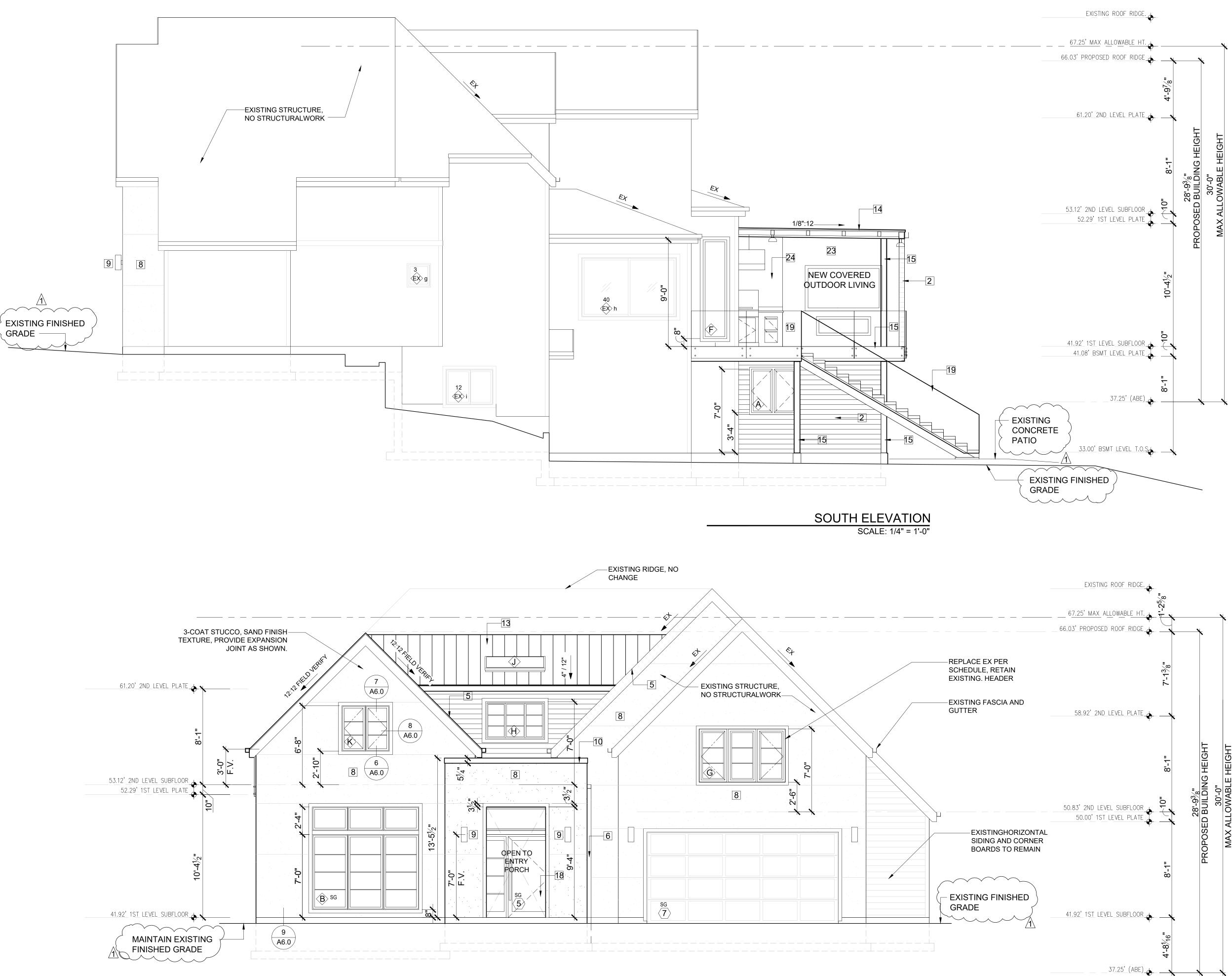
NOTE:

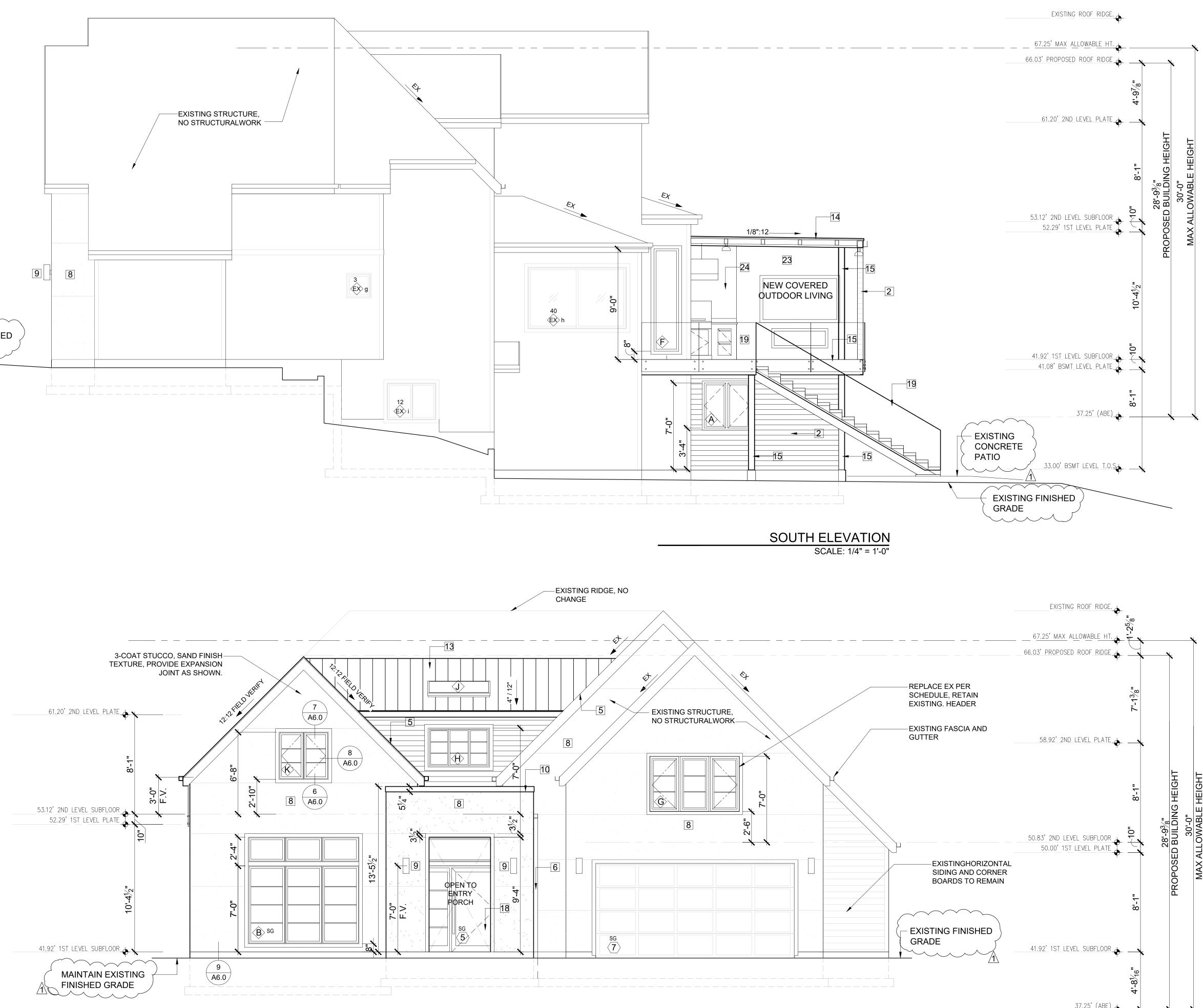
25.A STEEL, METAL FLASHING AND COPING TO BE POWDER COATED.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRE GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

PER IRC - 301.5 CONCENTRATED LOAD. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.

R312.2.1 - WINDOW SILLS. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTION OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.





WEST ELEVATION

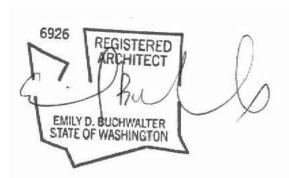
SCALE: 1/4" = 1'-0"



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JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

DRAWING NAME:

ELEVATIONS

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PROJECT No.: 2020 007 DATE: 12-22-2020

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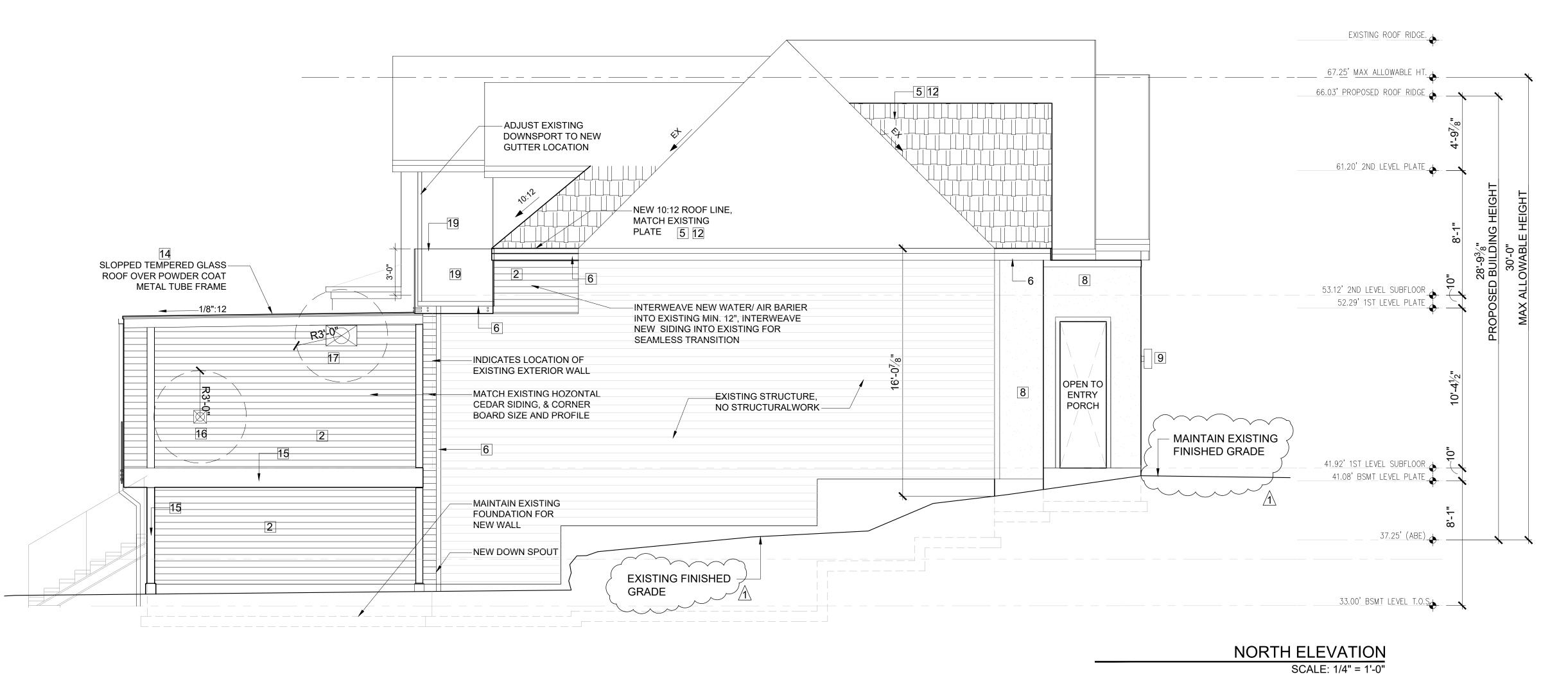
ELEVATIONS NOTES & KEY NOTES:

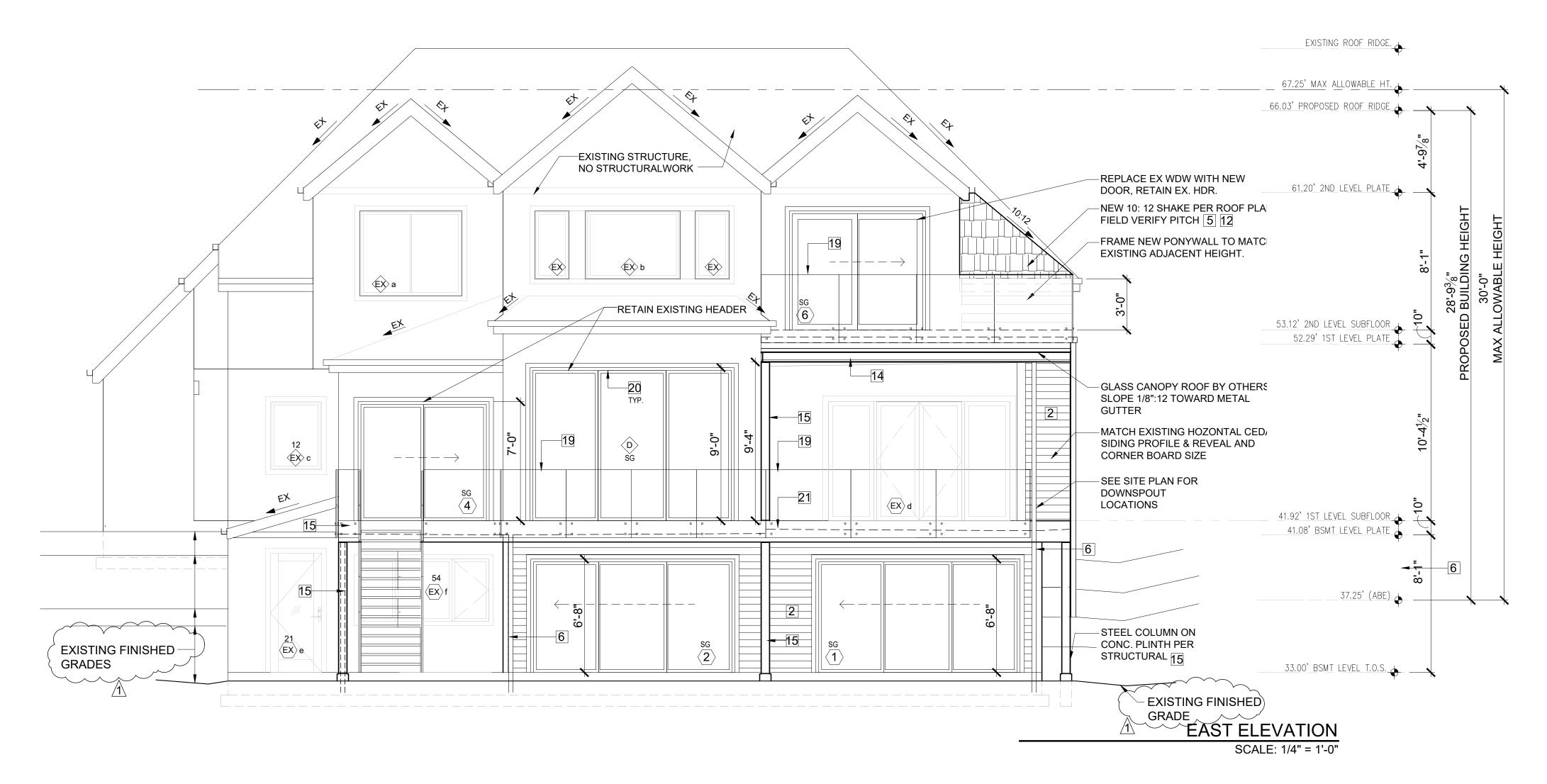
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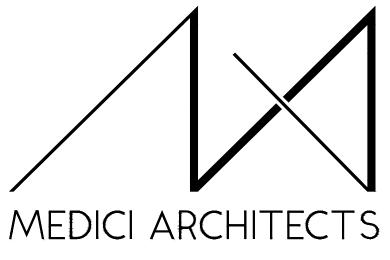
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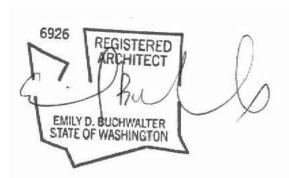




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9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

DRAWING NAME:

ELEVATIONS

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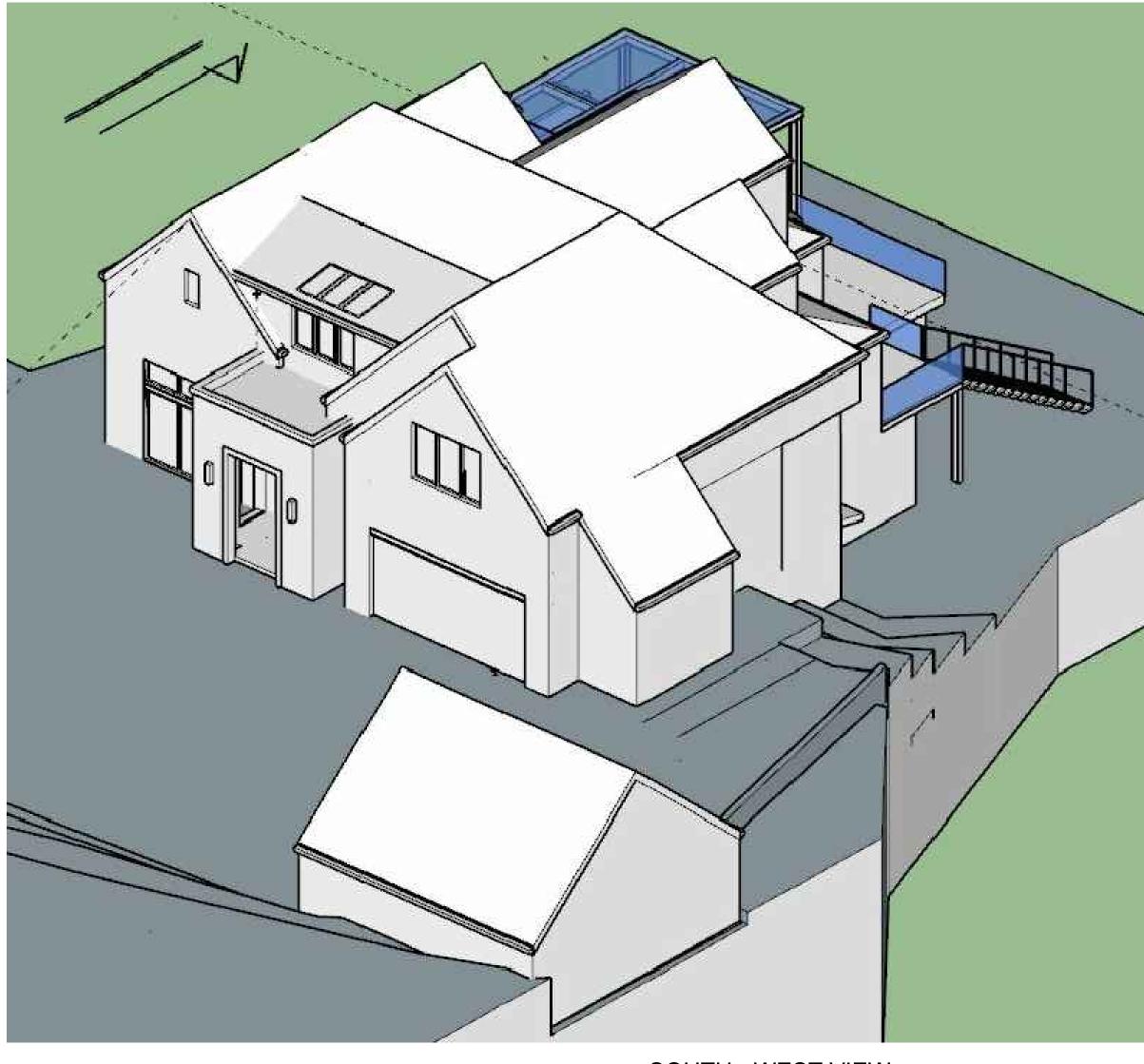
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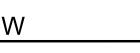
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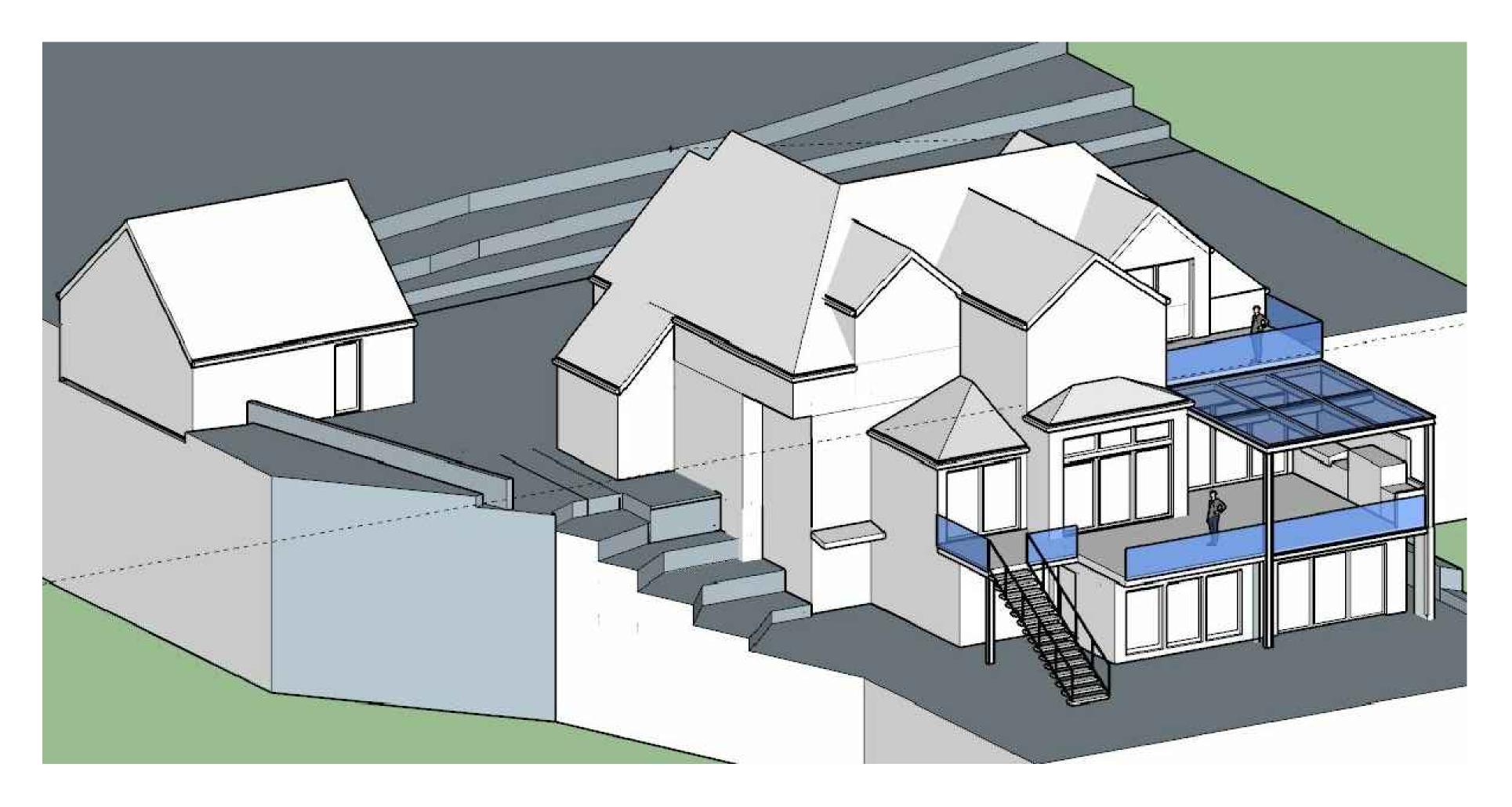
NORTH - EAST VIEW SCALE: NTS



SOUTH - WEST VIEW SCALE: NTS







NORTH - WEST VIEW SCALE: NTS

SOUTH - EAST VIEW



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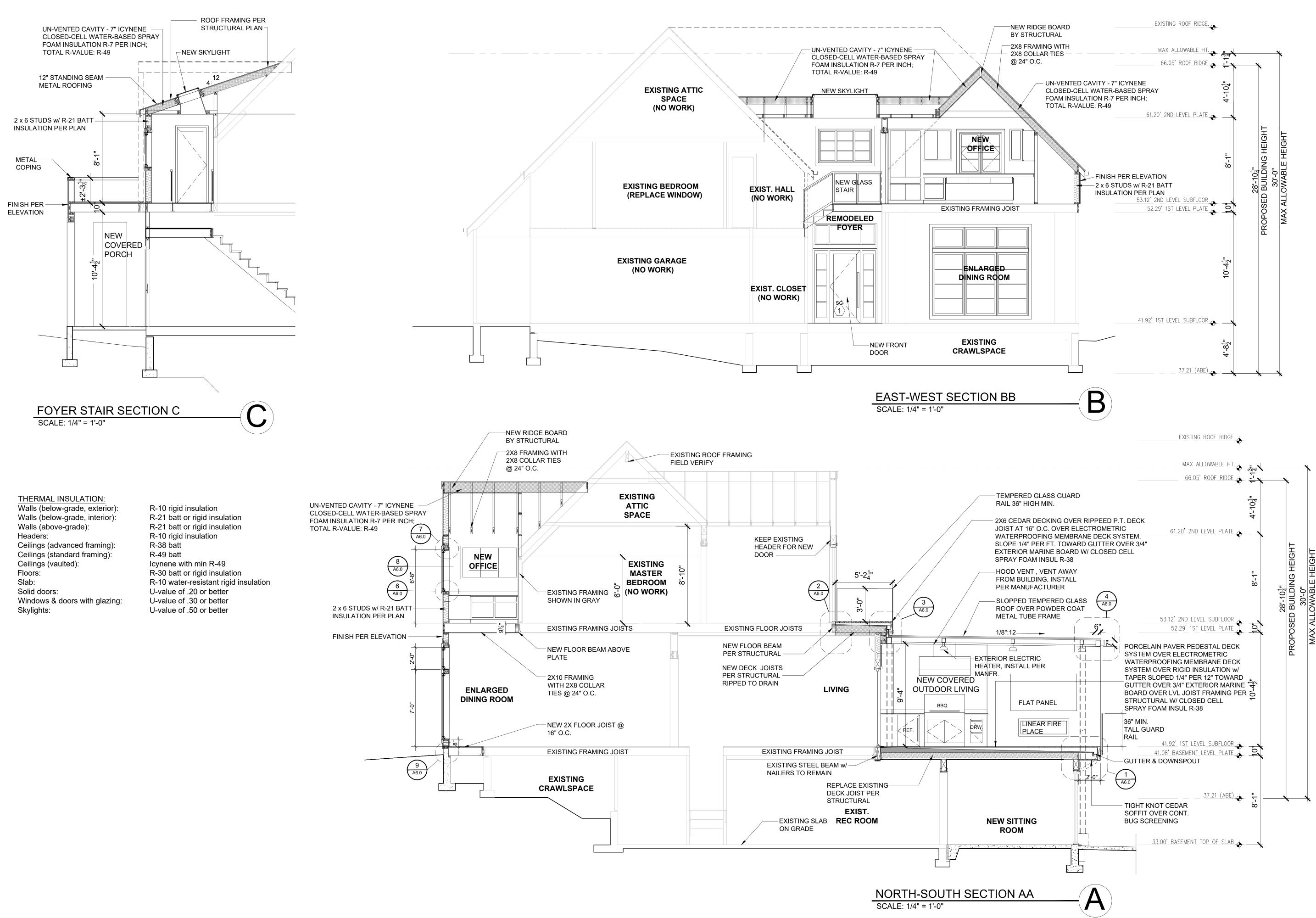
9820 SE 35TH PLACE MERCER ISLAND, WA 98040 **PARCEL # 082405-9027**

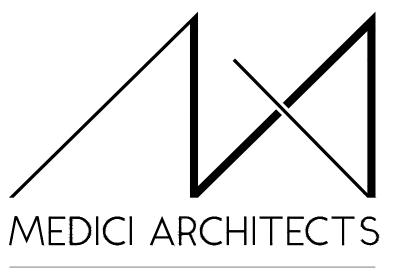
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PLOT SCALE: 1:1 A4.2

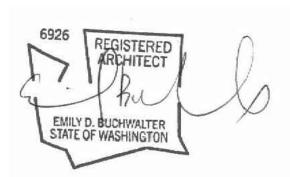




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9820 SE 35TH PLACE ACHIN & MARY CHEN 9820 SE 35TH PLACE MERCER ISLAND, WA 98040

JOB ADDRESS: 9820 SE 35TH PLACE MERCER ISLAND, WA 98040 PARCEL # 082405-9027

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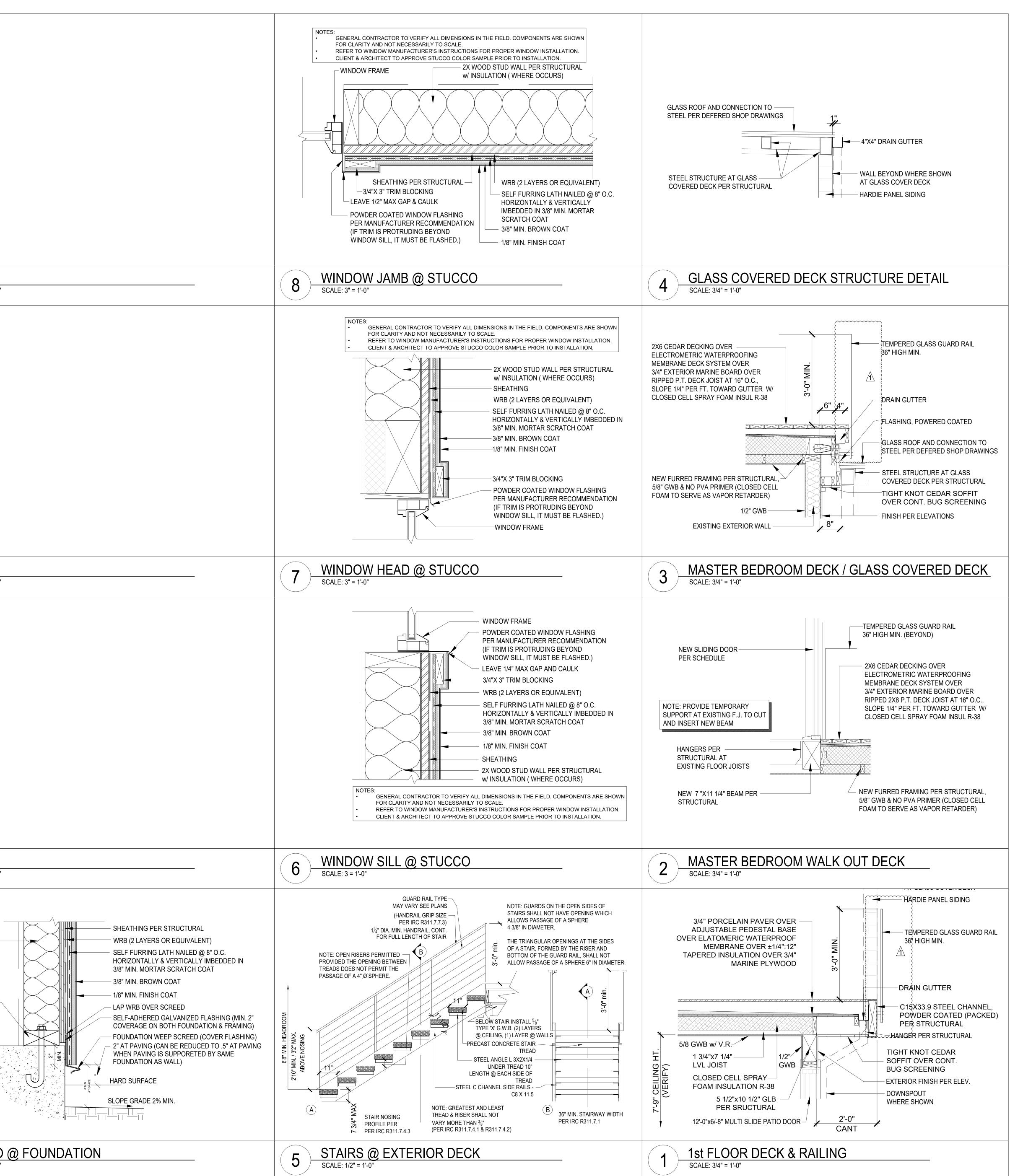
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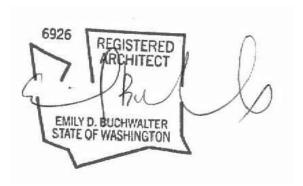
PROJECT No.: 2020 007 DATE: 12-22-2020

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16	XXX SCALE: 1"= 1'-0"	12 XXX SCALE: 1" = 1'-0"
15	XXX SCALE: 1" = 1'-0"	11 XXX SCALE: 1" = 1'-0"
14	XXX SCALE: 1" = 1'-0"	2X WOOD STUD WALL PER STRUCRUTAL W/ R-21 INSULATION (WHERE OCCURS)
13	XXX SCALE: 1" = 1'-0"	P.T. SILL PLATE & A.B. PER SHEAR WALL SCHEDULE





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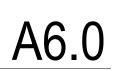
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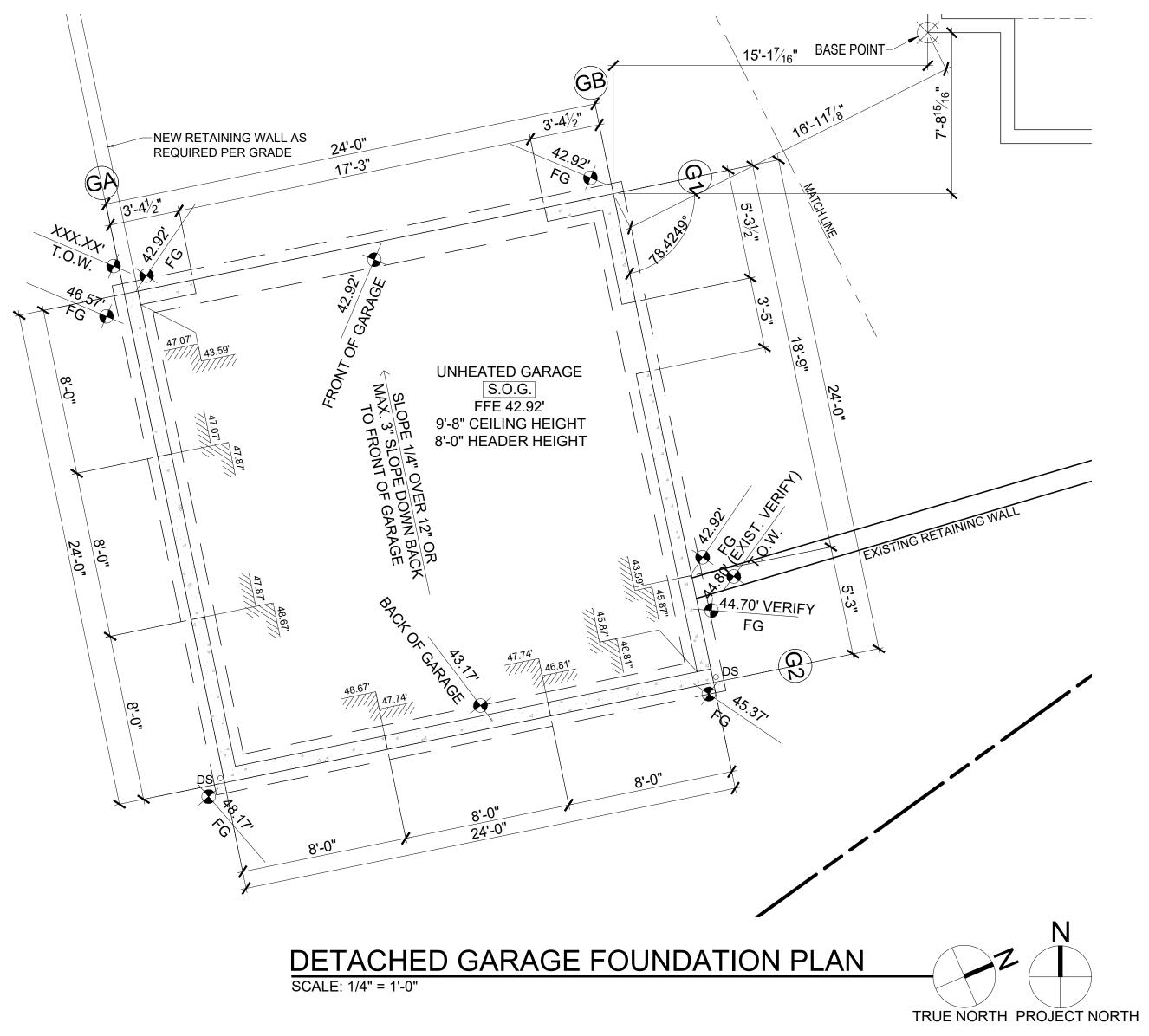
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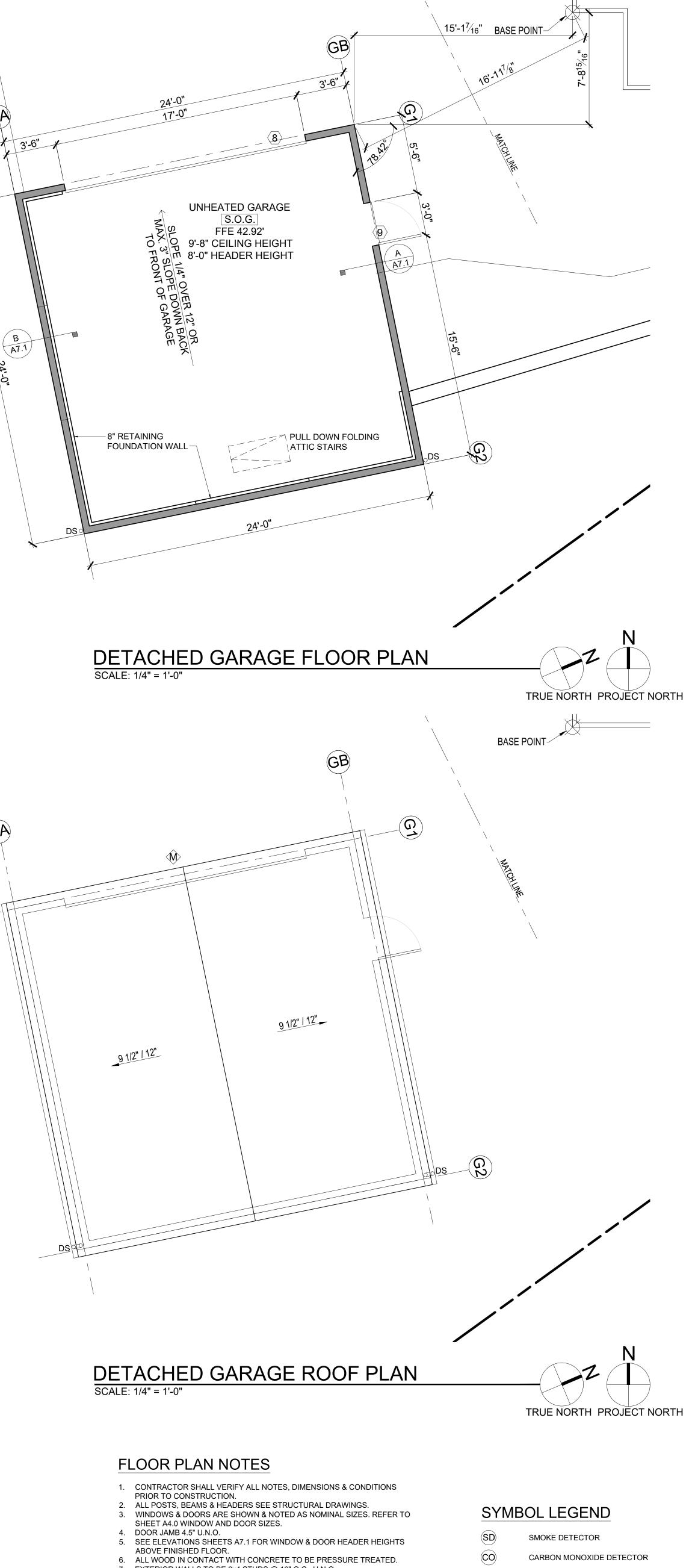
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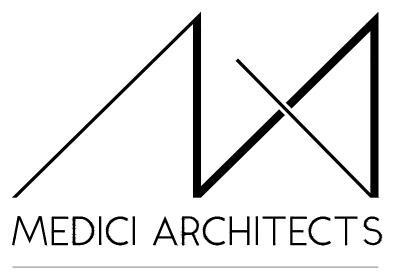
ROOF - VENTILATION CALCULATION				
Detached Garage - Roof trusses				
Roof Area:	533.0	s.f.		
Ventilation Required:	533.0	s.f. x 144 s.i. / 300*=	255.8	s.i. Req'd
Proposed Ventilation :				
SmartVent Shingle vent (upper or ridge)	4.5	s.i. nfa / l.f.=	4.5	s.i. / l.f.
Provide :	28.0	I.f. Upper Ventilation =	126.0	s.i.
SmartVent Shingle vent (lower roof edge)	4.5	s.i. nfa / l.f. =	4.5	s.i.
Provide:	30.0	I.f. Eave Edge Ventilation =	135.0	
Total Ventilation Provided	261.0	s.i. IS GREATER THAN	255.8	s.i. Req'd



GA

- 7. EXTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C., U.N.O.
- 8. INSTALL SIMPSON CONC. TO WOOD HOLDOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
- 9. SEE SHEET A0.1 FOR ADDITIONAL NOTES. 10. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.

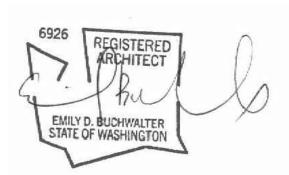
SD	SMOKE DETECTOR
CO	CARBON MONOXIDE DETECTOR
9	DOORS
¢	WINDOWS
	2X WALLS
	BRICK WALLS
\boxtimes ×	POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN



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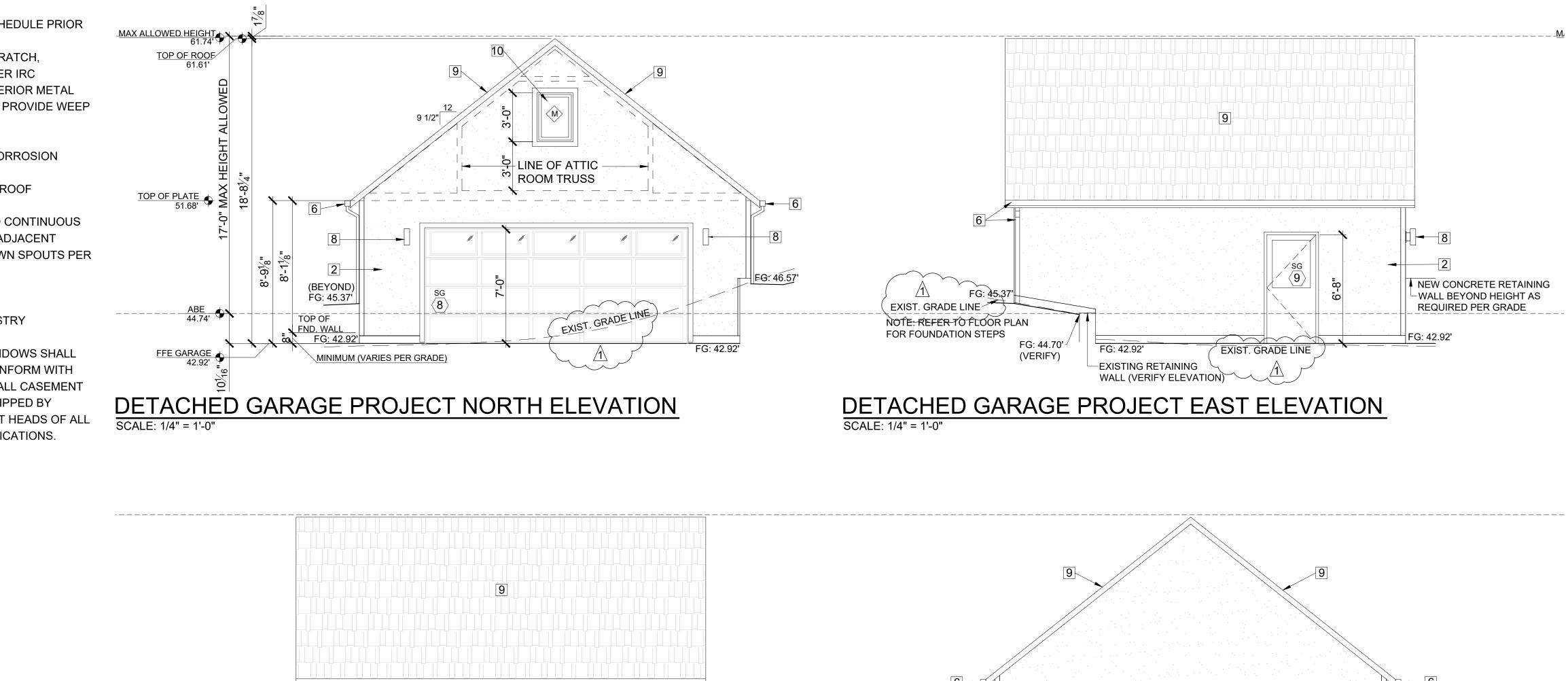
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DETACH	ED GARAGE
CONSTR	UCTION PLAN
Drawn By:	JMG,RB
Checked By: Owner Appro	
	val.
PHASE:	
CONSTRUC	TION DOCUMENTS
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Architects, and permission of f modifications t shall not be ca from the Archi	d can be reproduced only with the the Architect. Variations and to work shown on this drawing arried out without written permission
Architects, and permission of f modifications t shall not be ca from the Archi	d can be reproduced only with the the Architect. Variations and to work shown on this drawing arried out without written permission tect. FOR CONSTRUCTION:

ELEVATIONS NOTES & KEY NOTES:

- 1. VERIFY SHEAR WALL NAILING & HOLDOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- 2. STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2; SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
- 3. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- 4. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
- 5. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
- 6. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
- 7. SEE SHEET A0.1 FOR ADDITIONAL NOTES. 8. LIGHTING AT EXTERIOR DOORS, TYP.
- 9. MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
- 10. WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.



DETACHED GARAGE PROJECT WEST ELEVATION

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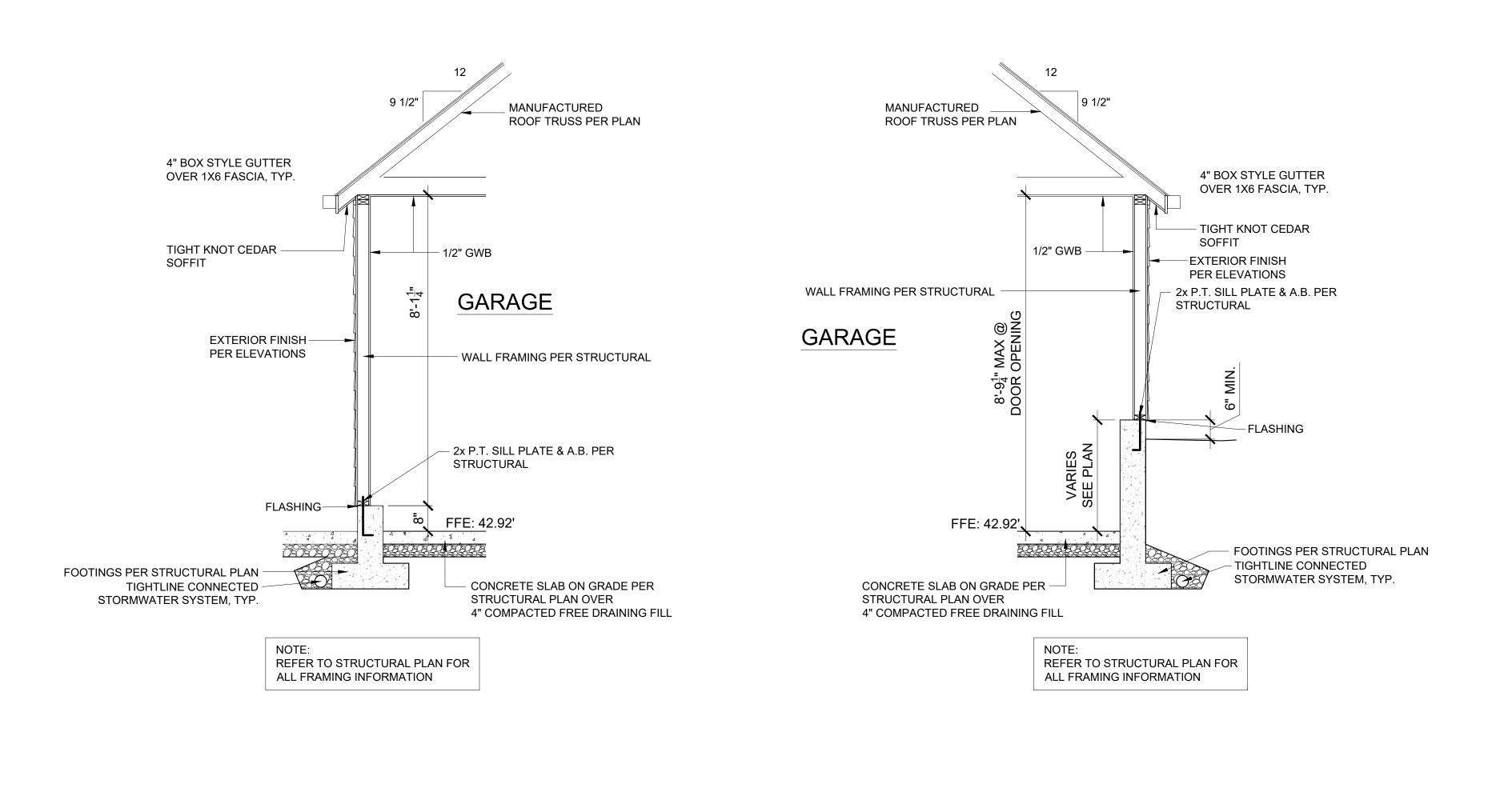
ST. GRADE LINE

NOTE: REFER TO FLOOR PLAN

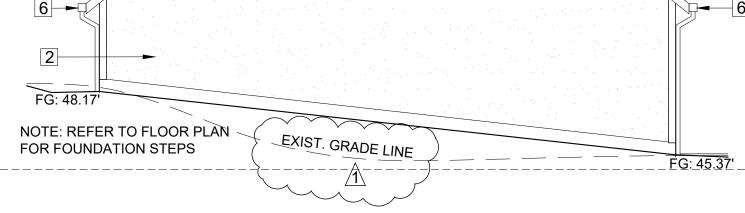
FOR FOUNDATION STEPS

SCALE: 1/4" = 1'-0"

FG: 46.57



A DETACHED GARAGE WALL SECTION SCALE: 1/2" = 1'-0" @ FULL HEIGHT FRAMED WALL



DETACHED GARAGE PROJECT SOUTH ELEVATION SCALE: 1/4" = 1'-0"

B DETACHED GARAGE WALL SECTION SCALE: 1/2" = 1'-0" @ RETAINING

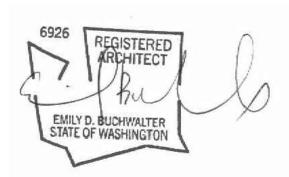
@ RETAINING WALL FOUNDAITON



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DRAWING NAME:	
DETACHED GARAGE	
ELEVATIONS	
Drawn By: JMG,RB	_
Checked By: EB	_
Owner Approval:	_
PHASE:	-
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PROJECT No.: 2020 007	
DATE: 12-22-2020	
PLOT SCALE: 1:1 A7.1	
PLOT SCALE: 1:1	

GENERAL STRUCTURAL NOTES

(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS.)

<u>A. GENERAL</u>

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION FOR NEW CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC), 2015 EDITION.

2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS.

3. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.

4. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCE. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

4.1 ALL OPENINGS THROUGH EXISTING CONCRETE WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING AND/OR CORING WHEREVER POSSIBLE. SAW CUT TO TERMINATE AT CORING AT CORNERS OF OPENING. DO NOT OVERCUT CORNERS.

4.2 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.

4.3 SMALL ROUND OPENINGS THROUGH CONCRETE SHALL BE ACCOMPLISHED BY CORE DRILLING IF POSSIBLE.

4.4 WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWEL BARS SHALL BE DRILLED AND EPOXIED INTO EXISTING CONCRETE TO MATCH NEW HORIZONTAL REINFORCING AS NOTED ON PLANS.

5. CONTRACTOR SHALL CHECK FOR DRYROT AT ALL EXTERIOR WALLS. EXISTING TOILET ROOM FLOORS AND WALLS. AREAS SHOWING WATER STAINS. AND ALL WOOD MEMBERS IN THE BASEMENT AND CRAWL SPACES. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS OF THE NEW CONSTRUCTION UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY BRACING AND SHORING OF THE EXISTING BUILDING(S) IN WHICH PORTIONS OF THE EXISTING STRUCTURE ARE TO BE REMOVED OR MODIFIED. THIS TEMPORARY BRACING AND SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION AND/OR STRUCTURAL MODIFICATIONS ARE COMPLETED. THE CONTRACTOR SHALL DESIGN, PROVIDE MATERIALS FOR AND INSTALL (AND REMOVE IF NECESSARY) SUCH TEMPORARY WORK.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK. STRUCTURAL DESIGN OF THE BUILDING IS BASED ON RESISTANCE TO DEAD LOADS, CODE SPECIFIED LATERAL LOADS, AND MAXIMUM EXPECTED SERVICE LOADS. NO CONSIDERATION HAS BEEN GIVEN TO LOADS WHICH WILL BE INDUCED BY ERECTION PROCEDURES. THE CONTRACTOR SHALL VERIFY, TO THE SATISFACTION OF HIM/HERSELF AND THE OWNER, THE ABILITY OF THE STRUCTURE TO RESIST ALL ERECTION LOADS WITHOUT EXCEEDING THE ALLOWABLE STRESSES OF THE MATERIALS USED. WHERE ERECTION LOADS WOULD OVERSTRESS THE STRUCTURE, THE CONTRACTOR SHALL SUBMIT DESIGN DOCUMENTS FOR TEMPORARY BRACING AND STRENGTHENING, INCLUDING FABRICATION AND ERECTION DRAWINGS, TO THE ARCHITEC FOR REVIEW. THESE DOCUMENTS SHALL BEAR THE SEAL AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON. THE CONTRACTOR SHALL PROVIDE, INSTALL AND IF NECESSARY REMOVE SUCH TEMPORARY WORK AS REQUIRED.

8. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

9. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

10. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

11. INSPECTIONS: INSPECTIONS OF THE WOOD FRAMING, THE STEEL REBAR AND WOOD FORMS FOR CONCRETE FOOTINGS & FOUNDATIONS, AND CONCRETE SLABS ARE REQUIRED PER IBC SECTION 110.3.

12. SHOP DRAWINGS FOR REINFORCING STEEL STRUCTURAL STEEL, GLUED LAMINATED MEMBERS, ENGINEERED LUMBER SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

ENGINEER OF RECORD SHALL REVIEW SHOP DRAWINGS FOR DESIGN INTENT ONLY. DIMENSIONS AND QUANTITIES ARE NOT GUARANTEED BY THE ENGINEER OF RECORD, AND THEREFORE, MUST BE VERIFIED BY THE GENERAL CONTRACTOR. DRAWINGS FOR COMPONENTS DESIGNED PRIMARILY BY OTHERS SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND A COPY: REPRODUCIBLE WILL BE REVIEWED AND RETURNED. SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY CONTRACTOR PRIOR TO REVIEW BY ENGINEER.

13. PRE-MANUFACTURED, PRE-ENGINEERED STRUCTURAL COMPONENTS SHALL BE DESIGNED BASED ON THE CRITERIA PRESENTED IN THE CONTRACT DOCUMENTS. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE, TEMPORARY AND PERMANENT BRACING AND ALL NECESSARY CONNECTIONS, INCLUDING CONNECTIONS TO THE PRIMARY STRUCTURE, NOT SPECIFICALLY CALLED OUT ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS. SHOP DRAWINGS SHALL INDICATE THE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON THE PRIMARY STRUCTURE. SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED PER PARAGRAPH "A.14." OF THESE NOTES.

15. DEFERRED SUBMITTALS – THE FOLLOWING ITEMS ARE CONSIDERED TO BE DEFERRED SUBMITTALS UNDER SECTION 107.3.4.1 OF THE INTERNATIONAL BUILDING CODE AND MUST BE SUBMITTED TO THE ARCHITECT OR THE ENGINEER FOR REVIEW. THESE ITEMS WILL THEN BE FORWARDED TO THE BUILDING OFFICIAL FOR APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON * PRE-ENGINEERED GLASS STAIR TREADS, GLASS GUARDRAILS AND GLASS ROOF.

B. DESIGN CRITERIA

1. DESIGN LOADS 25 PSF (SNOW*, IS=1.0) ROOF LIVE LOAD ROOF DEAD LOAD 15 PSF (20 PSF @ GLASS ROOF) FLOOR LIVE LOAD (RESIDENTIAL) 40 PSF (REDUCIBLE) FLOOR DEAD LOAD 15 PSF DECK LIVE LOAD 60 PSF (REDUCIBLE) DECK DEAD LOAD 25 PSF WIND (ASCE 7-10) V_w = 110 MPH, V_∞ = 85 MPH, (3 SEC GUST) ENCLOSED BUILDING, EXPOSURE "C", IW=1.0, KZT = 1.0 EARTHQUAKE (ASCE 7–10) SITE CLASS D OCCUPANCY CATEGORY II (IE = 1.0) SEISMIC DESIGN CATEGORY D SS = 1.382G, S1 = 0.531GSDS=0.921G, SD1 = 0.531GR=6.5, R = 1.3 $V_{wr} = C_{sW} = 0.129W$ EQUIVALENT LATERAL FORCE PROCEDURE LATERAL LOADS ARE RESISTED BY STRUCTURAL WOOD PANEL SHEAR WALLS & DIAPHRAGMS ALLOWABLE SOIL PRESSURE** 1,500 PSF 55 PCF AT-REST\14H SEISMIC 250 PSF PASSIVE 0.35 COEFFICIENT OF FRICITION *FOR SNOW DRIFT CALCULATIONS, PG = 15 PSF **SOILS REPORT REFERENCE: N/A

C. FOUNDATION

1. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR UNDER THE OBSERVATION AND DIRECTION OF THE GEOTECHNICAL ENGINEER. 2. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. MATERIAL

TO BE COMPACTED TO 95% MINIMUM OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. 3. FOOTINGS MAY BE POURED IN NEAT EXCAVATIONS PROVIDED SIZE IS INCREASED 3" AT EACH INTERFACE WITH SOIL.

4. ALL FOOTING EXCAVATIONS SHALL BE HAND CLEANED PRIOR TO PLACING CONCRETE.

5. ALL ABANDONED FOOTINGS. UTILITIES. ETC. THAT INTERFERES WITH NEW CONSTRUCTION SHALL BE REMOVED.

6. CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED TO SAFELY RETAIN EXCAVATIONS.

7. BACKFILL BEHIND ALL WALLS WITH WELL DRAINING, GRANULAR FILL MATERIAL, AND PROVIDE PERFORATED PIPE DRAINS AS DESCRIBED IN THE SOILS REPORT. BACKFILL BEHIND WALLS SHALL NOT BE PLACED BEFORE THE WALL IS PROPERLY SUPPORTED BY THE FLOOR SLAB, OR TEMPORARY BRACING. ALL FOOTINGS SHALL BE CENTERED BELOW CENTERLINE OF COLUMNS OR WALLS ABOVE, UNLESS NOTED OTHERWISE.

D. CONCRETE

1. ULTIMATE STRENGTH DESIGN PER INTERNATIONAL BUILDING CODE AND ACI 318-14.

2. CONCRETE SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS

2.1 CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF F'C = 3,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS, EXPOSURE CLASS F1, SO, WO & CO. DESIGN IS BASED ON F'C = 2,500 PSL.

3. THE MINIMUM AMOUNTS OF CEMENT AND MAXIMUM AMOUNTS OF WATER MAY BE CHANGED IF A CONCRETE DESIGN MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE CONCRETE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT. FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318, CHAPTERS 19 AND 26.

ALL CONCRETE EXPOSED TO FREEZING TEMPERATURES WHILE CURING AND ALL CONCRETE PERMANENTLY EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ACI 318. TOTAL AIR CONTENT SHALL BE 6% IN ACCORDANCE WITH TABLE 19.3.3.1.

NO ADMIXTURES. OTHER THAN FOR AIR-ENTRAINMENT AS NOTED ABOVE. SHALL BE USED WITHOUT PRIOR REVIEW BY THE STRUCTURAL ENGINEER.

4. REINFORCING

REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. REINFORCEMENT FOR COLUMNS, WALLS, WALL TO FOOTING DOWELS, AND WOOD SHEAR WALL HOLD DOWNS TO BE A706 UNLESS CERTIFIED MILL CERTIFICATES CONFORMING TO ACI 318 20.2.2.5 ARE PROVIDED. WELDED WIRE REINFORCEMENT: ASTM A82 AND ASTM A185, SPLICE WITH AT LEAST ONE FULL MESH. PLACE AT MID-DEPTH, OR SLIGHTLY ABOVE, OF SLAB. MATERIAL TO BE

SUPPLIED IN FLAT SHEETS. 5. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 318 (LATEST EDITION). LAP ALL CONTINUOUS REINFORCEMENT PER NOTE D.6. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS. LAP CORNER BARS PER NOTE D.6. LAP ADJACENT MATS OF WELDED WIRE REINFORCEMENT A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

6. REINFORCING STEEL LAPS AND EMBEDMENT SHALL BE AS NOTED BELOW. UNLESS NOTED OTHERWISE:

DEVELOPMENT LENGTH - COMPRESSION	20 BAR DIAM. – 24" MINIMUM
DEVELOPMENT LENGTH - TENSION	48 BAR DIAM. – (#11 BAR – 54 BAR DIA.)
DEVELOPMENT LENGTH - TENSION, TOP BAR*	BAR DIAM. – (#11 BAR – 70 BAR DIA.)
LAP SPLICE LENGTH - COMPRESSION	DIAM. – 24" MINIMUM
LAP SPLICE LENGTH – TENSION	64 BAR DIAM. – (#11 BAR – 70 BAR DIAM.)
LAP SPLICE LENGTH – TENSION, TOP BAR	80 BAR DIAM. – (#11 BAR – 90 BAR DIAM.)
TOP BARS ARE HORIZONTAL REINFORCEMENT SO PLACED	THAT MORE THAN 12" OF CONCRETE IS CAST IN THE

*TOP BARS ARE HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12" OF CONCRETE IS CAST IN THE MEMBER BELOW THE BAR

ALL HOOKS SHALL BE "STANDARD" IN ACCORDANCE WITH ACI 318. REINFORCING SHALL NOT BE TACK WELDED. DO NOT WELD GRADE 60 REINFORCING.

7. HIGH STRENGTH THREADED RODS (STRESSED AND NON-STRESSED) SHALL BE DYWIDAG THREADBARS WITH APPROPRIATE ANCHORAGE PLATES, NUTS, AND COUPLERS AS MANUFACTURED BY DICKERHOFF AND WINDMANN, INC., IN CONFORMANCE WITH ASTM A722 (FPU = 150,000).

8. MECHANICAL SPLICING OF REINFORCING BARS, WHERE INDICATED ON THE DRAWINGS, SHALL BE BY AN INTERNATIONAL CODE COUNSEL (ICC) APPROVED SYSTEM (SUCH AS LENTON, FOX-HOWLETT, ETC.) AND SHALL DEVELOP 125% OF THE SPECIFIED YIELD STRENGTH OF THE BARS. SPLICE LOCATIONS OF ALTERNATE BARS SHALL BE OFFSET BY A DISTANCE WHICH CONFORMS TO THE ICC REPORT OF THE SPLICE USED.

9. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE FORMED SURFACES EXPOSED TO FARTH (IF WALLS BELOW GROUND) OR WEATHER

FURMED SURFACES EXPOSED TO EARTH (I.E. WALLS BELOW	GROUND)	URI
(#6 BARS OR LARGER)	2"	
(#5 BARS OR SMALLER)	1-1/2"	
COLUMN TIES OR SPIRALS AND BEAM STIRRUPS	1-1/2"	
JOISTS, SLABS AND WALLS (INTERIOR FACE)	3/4"	

10. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT SHALL BE NON-SHRINK, CEMENT-BASED AND HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF F'C = 5000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C109.

11. ADHESIVE ANCHOR SYSTEM SHALL BE SET-XP OR SET-3G EPOXY BY SIMPSON STRONG-TIE, HIT-HY 200-A OR HIT-RE 500 V3 BY HILTI, AC200+ BY DEWALT, OR APPROVED EQUAL.

12. ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (SEE WOOD SECTION).

E. STRUCTURAL STEEL

1. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE AISC 360 "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," LATEST EDITION, PLUS ALL REFERENCED CODES.

2. ALL "W" (WIDE FLANGE BEAM AND COLUMN) SHAPES SHALL CONFORM TO ASTM A992. HP SHAPES SHALL CONFORM TO ASTM A572, FY = 50 KSI. PLATES, BARS AND OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, FY = 36 KSI, UNLESS CALLED OUT OTHERWISE ON PLAN. STEEL PIPE SHALL BE SCHEDULE 40 CONFORMING TO ASTM A53, TYPE E OR S, GRADE B, FY = 35 KSI. RECTANGULAR HSS SHALL CONFORM TO ASTM A500, GRADE B, FY = 46 KSI, ROUND HSS SHALL CONFORM TO ASTM A500, GRADE B, FY = 42 KSI.

3. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 AND HAVE A WELDED HEAD. EMBED ANCHOR BOLTS A MINIMUM OF 7" INTO CONCRETE.

5. ALL CONNECTION BOLTS AT STEEL/STEEL CONNECTIONS SHALL BE ASTM A325 OR ASTM A490 AND SHALL BE INSTALLED, TIGHTENED, AND INSPECTED IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A 490 BOLTS." THE CRITERIA FOR SNUG-TIGHT CONNECTIONS SHALL APPLY TO ALL CONNECTIONS UNLESS SPECIFICALLY NOTED AS SLIP-CRITICAL ON THE STRUCTURAL DRAWINGS. WHERE CONNECTIONS ARE NOTED AS SLIP-CRITICAL, THE CONTRACTOR SHALL INSTALL PER CRITERIA FOR SLIP-CRITICAL CONNECTIONS. SLIP-CRITICAL CONNECTIONS SHALL USE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. ALL BOLT HOLES SHALL BE STANDARD SIZE, UNLESS NOTED OTHERWISE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE SELECTION OF OPTIONAL DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL ERECTION AIDS AND JOINT PREPARATIONS THAT INCLUDE. BUT ARE NOT LIMITED TO: ERECTION ANGLES. LIFT HOLES. AND OTHER AIDS: WELDING PROCEDURES: REQUIRED ROOT OPENINGS; ROOT FACE DIMENSIONS; GROOVE ANGLES; BACKING BARS; COPES; SURFACE ROUGHNESS VALUES; AND TAPERS OF UNEQUAL PARTS.

6. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS BY SIMPSON STRONG-TIE. "KWIK BOLT TZ" WEDGE ANCHORS BY HILTI. POWER-STUD+ SD2. OR APPROVED EQUAL INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT AND INSERT INSTALLATION. SUBMIT MANUFACTURER'S DATA SHEETS AND ICC REPORTS FOR ENGINEER'S REVIEW.

7. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. WELDS, UNLESS OTHERWISE NOTED, SHALL BE $\frac{3}{6}$ " CONTINUOUS FILLET WELDS. WELDS SHOWN ON DRAWINGS ARE MINIMUM SIZES. INCREASE WELD SIZE TO AWS MINIMUM SIZES, BASED ON PLATE THICKNESS. WELDING OF REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS. WELDING PROCEDURES SHALL BE SUBMITTED TO THE OWNER'S TESTING AGENCY FOR REVIEW BEFORE STARTING FABRICATION OR ERECTION.

ALL WELDS SHALL BE VISUALLY INSPECTED AT THE SITE BY A QUALIFIED INSPECTOR.

ALL COMPLETE PENETRATION WELDS SHALL BE ULTRASONICALLY TESTED AT THE PLANT OR SITE BY A QUALIFIED INSPECTOR.

FIELD WELD ARROWS ARE SHOWN ONLY WHERE A FIELD WELD IS REQUIRED BY THE STRUCTURAL DESIGN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL ERECTION.

F. CARPENTRY

MISC. LIGHT FRAMING:

1. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI STANDARD A190.1. EACH MEMBER SHALL BEAR AN AITC OR APA EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, FB = 2,400 PSI, FV = 240 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, FB = 2400 PSI, FV = 240 PSI. CAMBER ALL GLULAM BEAMS TO 2,000' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

2. FRAMING LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER, LATEST EDITION. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

MEMBER	SIZE	SPECIES GRADE	MIN. BASIC DESIGN STRESS
JOISTS AND RAFTERS:	2X, 3X 4X	HEM.FIR #2 HEM.FIR #2	FB = 850 PSI FB = 850 PSI
BEAMS AND STRINGERS:	6X AND LARGER	DOUG.FIR #1	FB = 1350 PSI
POSTS AND TIMBERS:	6X6, 6X8	DOUG.FIR #1	FC = 1000 PSI FB = 1200 PSI
PLATES AT SHEAR WALLS AND BEARING WALLS:			10 - 1200 1 31
STUDS, PLATES, &		HEM.FIR #2	FB = 850 PSI

ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED SURFACE-DRY AND SHALL HAVE A MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NOT MORE THAN 19 PERCENT. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED SURFACE-GREEN AND AIR-DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT PRIOR TO ITS USE IN FRAMING THE STRUCTURE.

3. MANUFACTURED LUMBER SHALL BE AS MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL. REQUESTS FOR APPROVAL AS EQUAL WILL REQUIRE SUBMITTAL OF ICC REPORT EQUIVALENT TO ESR-1387 FOR LAMINATED STRAND LUMBER (LSL), LAMINATED VENEER LUMBER (LVL), OR PARALLEL STRAND LUMBER (PSL). THE MINIMUM ALLOWABLE DESIGN VALUES ARE AS FOLLOWS:

LSL - FB = 2,250; FV = 400 PSI; E = 1,500,000 PSILVL - FB = 2,600; FV = 285 PSI; E = 1,800,000 PSIPSL - FB = 2,900; FV = 290 PSI; E = 2,000,000 PSI

4. SHEATHING SHALL BE APA PERFORMANCE RATED PANELS PER APA "PLYWOOD DESIGN SPECIFICATION", INCLUDING APPLICABLE SUPPLEMENTS, UNLESS NOTED OTHERWISE. PLYWOOD OR ORIENTED-STRAND BOARD (OSB) PANELS SHALL BE GRADE CD AND ALSO CONFORM TO DOC PS-1 & PS-2. ALL PANELS SHALL BE IDENTIFIED AS EXPOSURE 1 UNLESS NOTED OTHERWISE. PANEL RATING TO BE AS FOLLOWS UNLESS NOTED OTHERWISE:

19/32" (OR 5/8") THICK, 40/20 ROOF: WALLS: 15/32" THICK, 32/16, OR 1/2" THICK, 24/0

FLOORS: 23/32" (OR 3/4") THICK, TONGUE & GROOVE, (48/24)

UNLESS NOTED OTHERWISE ON THE PLANS. ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS @ 6"OC TO FRAMED PANEL EDGES AND OVER STUD WALLS SHOWN ON PLANS AND @ 12"OC (10"OC AT FLOORS) TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED SHEATHING EDGE CLIPS @ 16"OC AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS AND EDGE CLIPS. PROVIDE SOLID BLOCKING AT ALL EDGES ONLY WHERE NOTED ON PLANS. TOENAIL BLOCKING TO SUPPORTS WITH 16D NAILS, UNLESS NOTED OTHERWISE.

UNLESS NOTED OTHERWISE ON THE PLANS, WALL SHEATHING MAY BE LAID UP HORIZONTALLY OR VERTICALLY, UNSUPPORTED EDGES SHALL BE BLOCKED AND ALL EDGES SHALL BE NAILED WITH 8D @ 6"OC. NAIL WITH 8D @ 12"OC AT INTERMEDIATE SUPPORTS. NAIL SHEAR WALL SHEATHING TO ALL HOLDOWN STUDS USING EDGE NAIL SPACING WHEN HOLDOWN STUD DOES NOT OCCUR AT PANEL EDGES.

SHEATHING NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE SHEATHING.

5. INTERIOR WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH SODIUM BORATE (SBX). WOOD MEMBERS EXPOSED TO WEATHER (UNPAINTED) OR IN DIRECT CONTACT WITH SOIL SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUATERNARY (ACQ). NOTE THAT ACQ IS EXTREMELY CORROSIVE TO METALS. SBX IS NONTOXIC TO THE ENVIRONMENT. PROVIDE TWO LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC., AND CONCRETE OR MASONRY. ALL METAL CONNECTORS IN CONTACT WITH "ACQ" PRESSURE-TREATED LUMBER OR FIRE-RETARDANT-TREATED LUMBER SHALL BE TYPE 304 OR 316 STAINLESS STEEL. THIS INCLUDES WASHERS, SCREWS, NAILS, HANGERS, AND ANY OTHER MISCELLANEOUS LT. GAGE METAL CONNECTORS. WHERE ACQ LUMBER IS MISTAKENLY USED OR FOR FIRE-RETARDANT-TREATED LUMBER USED IN INTERIOR CONDITIONS, ASTM A 653, TYPE G185 ("HOT-DIP" GALVANIZED TO 1.85 OUNCES PER SQUARE FOOT) METAL CONNECTORS MAY BE USED IN LIEU OF STAINLESS STEEL. METAL CONNECTORS 1/2" THICK OR GREATER NEED NOT BE GALVANIZED FOR INTERIOR USE, NOR DO THEY NEED TO BE STAINLESS STEEL FOR EXTERIOR USE. METAL CONNECTORS 1/2" THICK PLUS MUST BE GALVANIZED FOR EXTERIOR USE, UNLESS SPECIFIED OTHERWISE BY THE ARCHITECT.

6. WOOD FASTENER NOTES - THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

6.1 NOTATIONS ON DRAWINGS RELATING TO FRAMING CLIPS, JOIST HANGERS AND OTHER CONNECTING DEVICES REFER TO CATALOG NUMBERS OF CONNECTORS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, DUBLIN, CALIFORNIA. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC APPROVAL FOR EQUIAL OR GREATER LOAD CAPACITIES. SUBMIT MANUFACTURER'S CATALOG AND ICC REPORTS TO ARCHITECT AND ENGINEER FOR REVIEW WHEN REQUESTING SUBSTITUTIONS. ALL SPECIFIED FASTENERS MUST BE USED AND PROPER INSTALLATION PROCEDURES MUST BE OBSERVED IN ORDER TO OBTAIN ICC APPROVED LOAD CAPACITIES. VERIFY THAT THE DIMENSIONS OF THE SUPPORTING MEMBER ARE SUFFICIENT TO RECEIVE THE SPECIFIED FASTENERS.

6.2 NAILS SHALL BE MANUFACTURED IN CANADA OR THE UNITED STATES IN SIZES AND TYPES AS FOLLOWS, UNLESS NOTED OTHERWISE:

PNEUMATIC NAILING – PLAIN SHANK, COATED OR GALVANIZED 8D = .131 diameter x 2-1/2" minimum length

10D = .148 DIAMETER X 3" MINIMUM LENGTH

16D = .162 DIAMETER X 3-1/4" MINIMUM LENGTH 20D = .192 DIAMETER X 4" MINIMUM LENGTH

HAND NAILING - SINKERS, COATED

8D = 11 - 1/2 GAGE X 2 - 3/8" 10D = 11 GAGE X 2-7/8"

16D = 9 GAGE X 3-1/4"

7. WOOD FRAMING NOTES - THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

7.1 ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

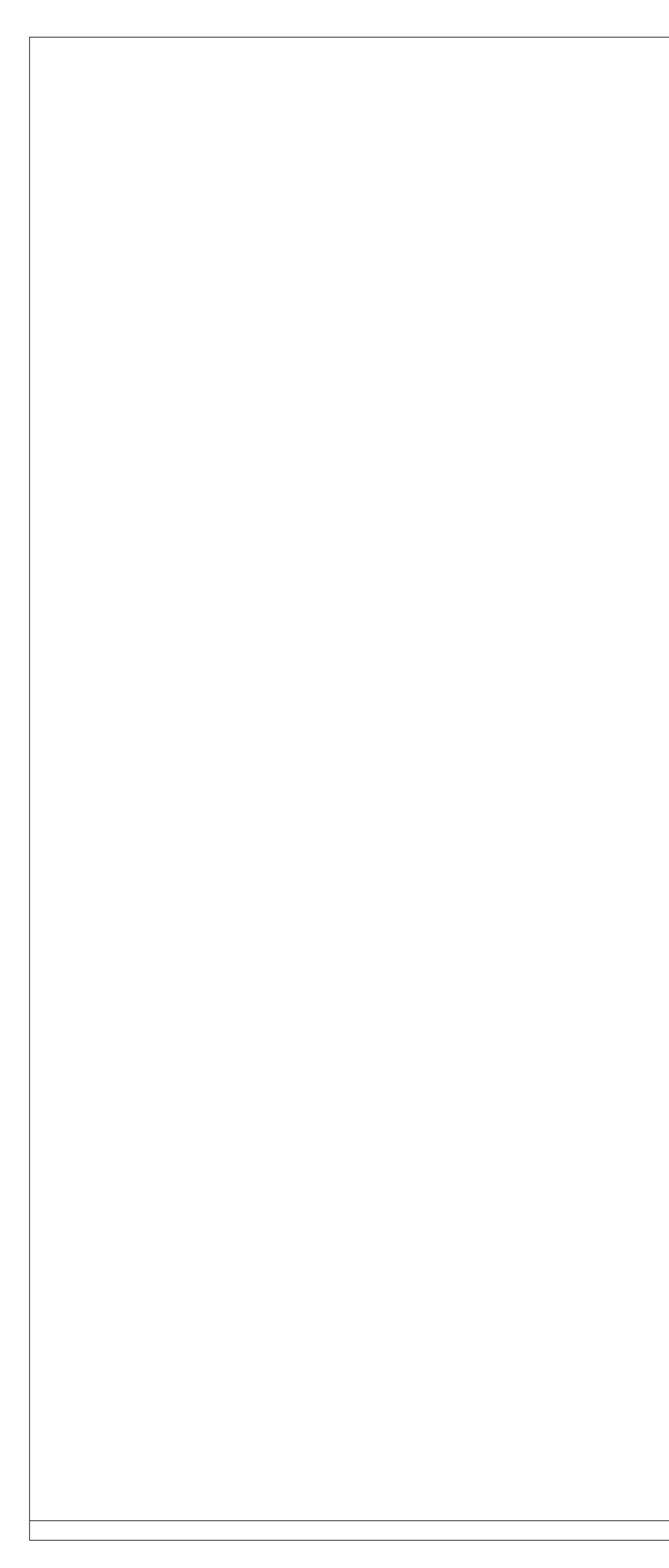
7.2 WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X4 STUDS @ 16"OC AT INTERIOR WALLS AND 2X6 STUDS @ 16"OC AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. UNLESS NOTED OTHERWISE A (2) 2X8 HEADER SHALL BE PROVIDED OVER ALL OPENINGS IN 2X4 STUD WALLS AND A (3) 2X8 HEADER OVER ALL OPENINGS IN 2X6 WALLS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORT BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 8'-0" IN HEIGHT.

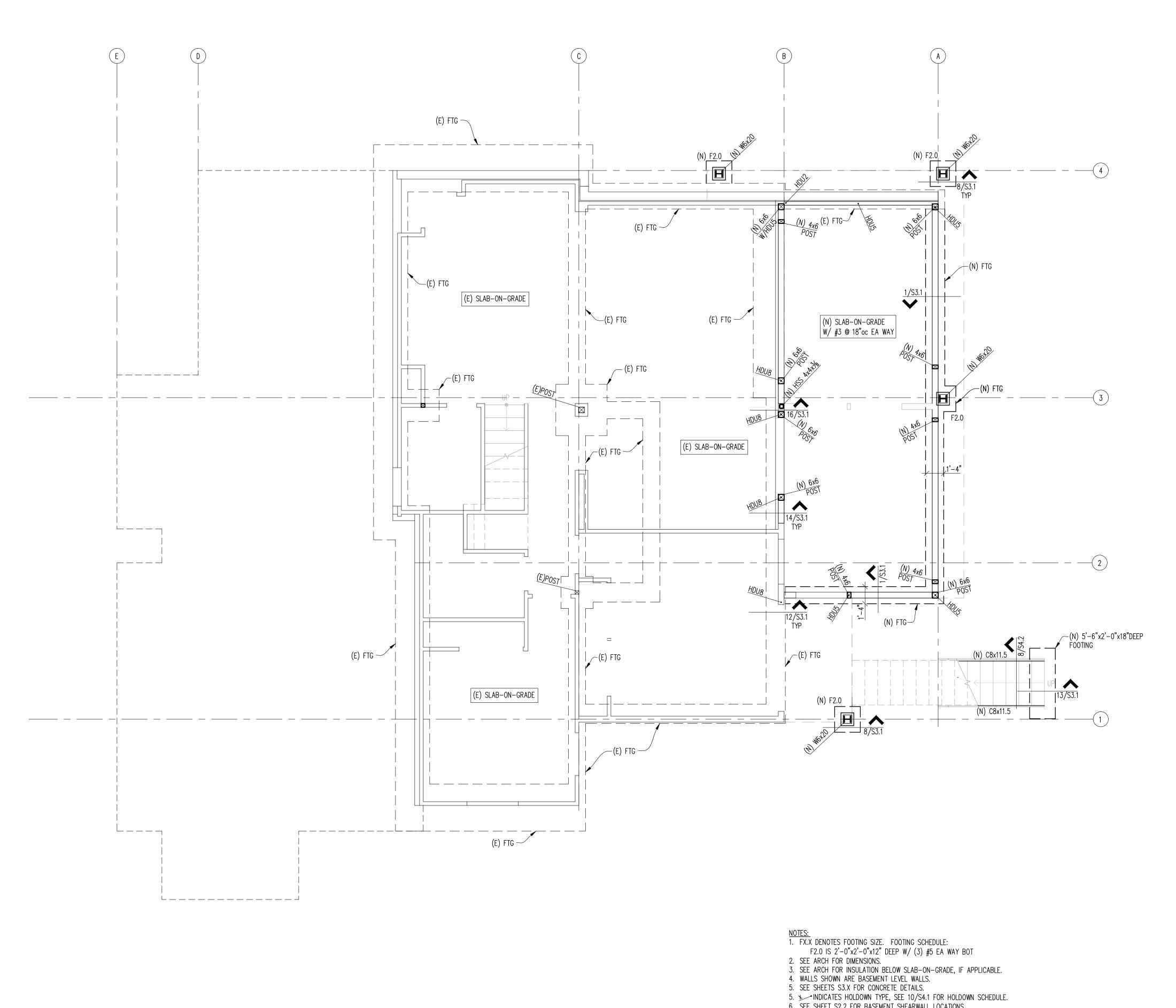
ALL STUD WALLS SHOWN ON STRUCTURAL DRAWINGS SHALL HAVE THEIR LOWER PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16D NAILS AT 12"OC STAGGERED OR BOLTED TO CONCRETE OR MASONRY WITH 5%" DIAMETER BY 10" LONG ANCHOR BOLTS, EMBEDDED 7" AND SPACED AT 4'-0"OC MAXIMUM, UNLESS NOTED OTHERWISE (UNO) ON PLANS. SHEAR WALLS REQUIRE MINIMUM 3"X3"X4" SQUARE PLATE WASHERS AT ALL ANCHOR BOLTS. REFER TO THE STRUCTURAL PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING.

7.3 FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE BRIDGING @ 8'-0"OC AND SOLID BLOCKING AT ALL BEARING POINTS. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

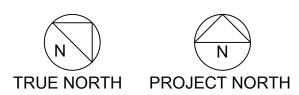
TOENAIL JOISTS TO BEARING SUPPORTS WITH 16D NAILS. UNLESS NOTED OTHERWISE, ATTACH JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON "LU" SERIES METAL JOIST HANGERS TO SUIT JOIST SIZE. ALL DOUBLE JOISTS, BEAMS, AND SLOPED AND/OR SKEWED JOISTS SHALL BE CONNECTED TO FLUSH MEMBERS WITH U-SERIES JOIST HANGERS UNLESS NOTED OTHERWISE. SKEW AND SLOPE ALL CONNECTORS AS REQUIRED. FACE-NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16D SPIKES @ 24"OC STAGGERED.

FOSSATTI PAWLAK STRUCTURAL ENGINEERS 1735 Westlake Ave N, Ste 205 Seattle, WA 98109 Phone:206.456.307 Fax:206.456.3076 www.fossatti.com PROJECT шΖ ОЩ Τí ⊢∢ ñ Z ທ *–* \sim ш 🗙 🗘 🖄 S 7 ○ 〒 ∞ 町 いて တ 98 AC REVISIONS NO. DATE 11-4-20 PERMIT 4/2/21 PERMIT RESPONSE -----_____ 11/4/20 CHECKED DESIGN AS NOTED SDCI STAMP SHEET TITLE GENERAL STRUCTURAL NOTES SHEET NO. S1.1

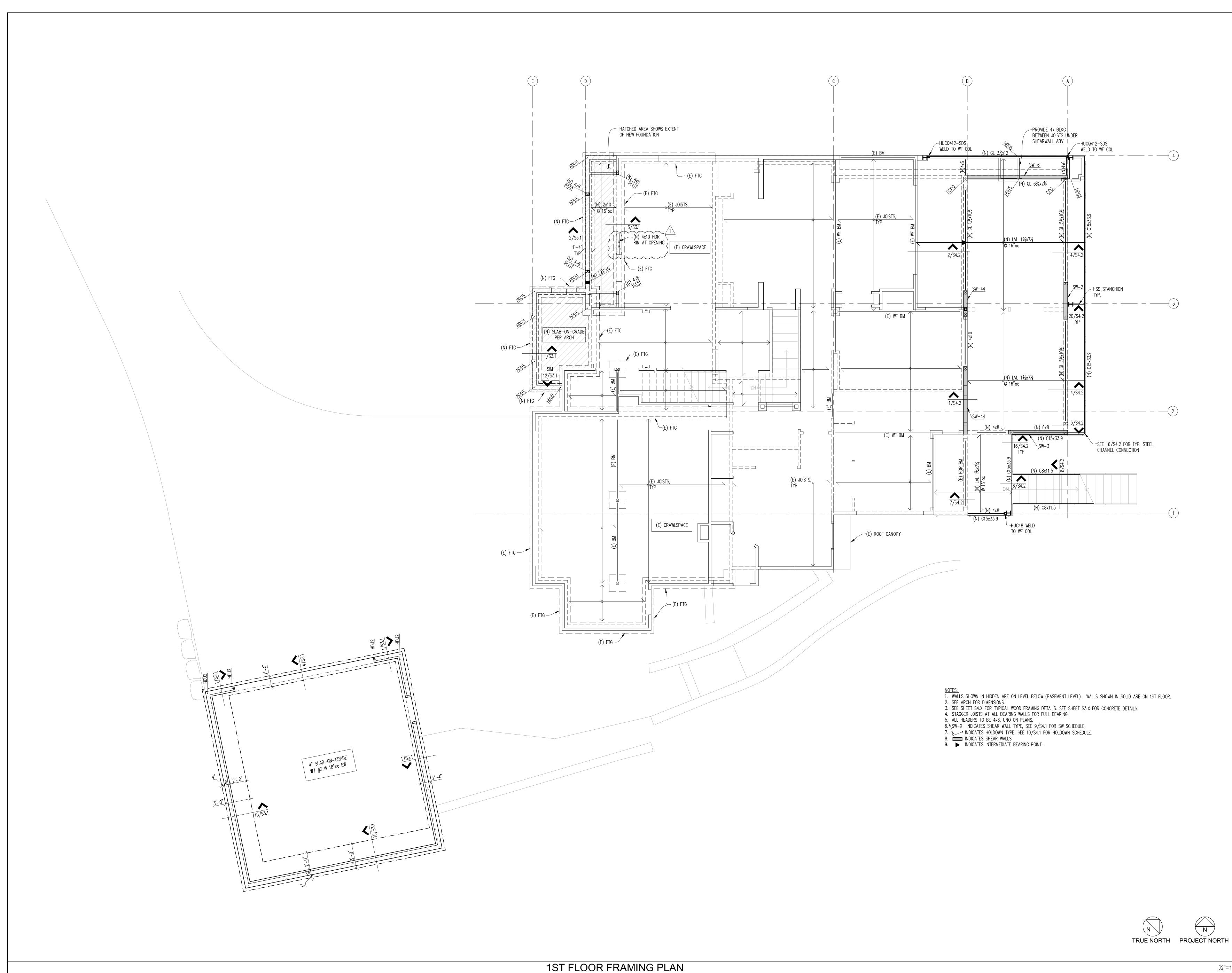




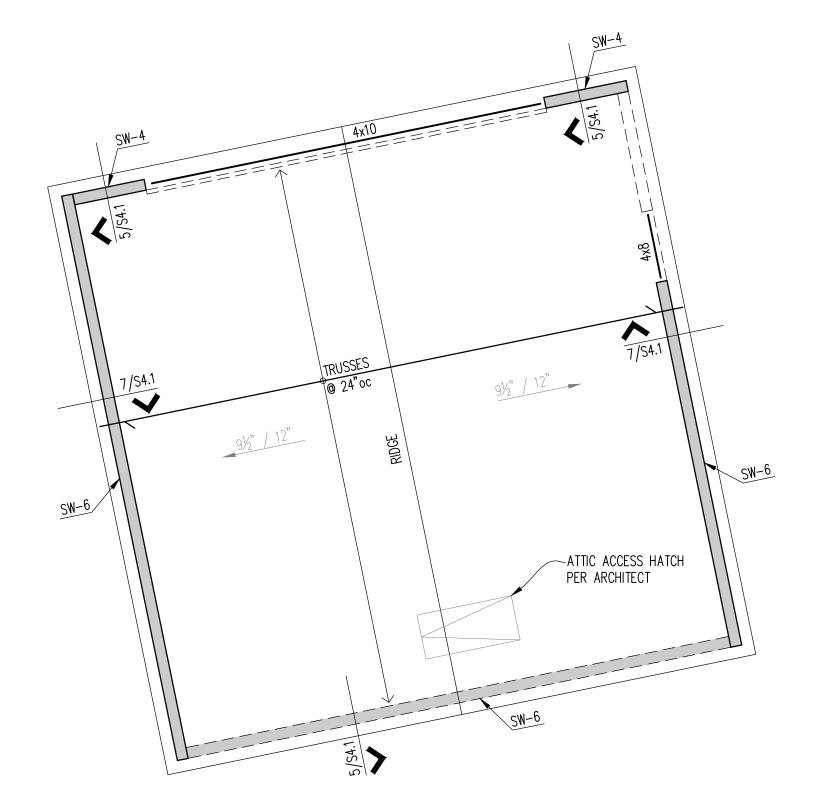
- 6. SEE SHEET S2.2 FOR BASEMENT SHEARWALL LOCATIONS.

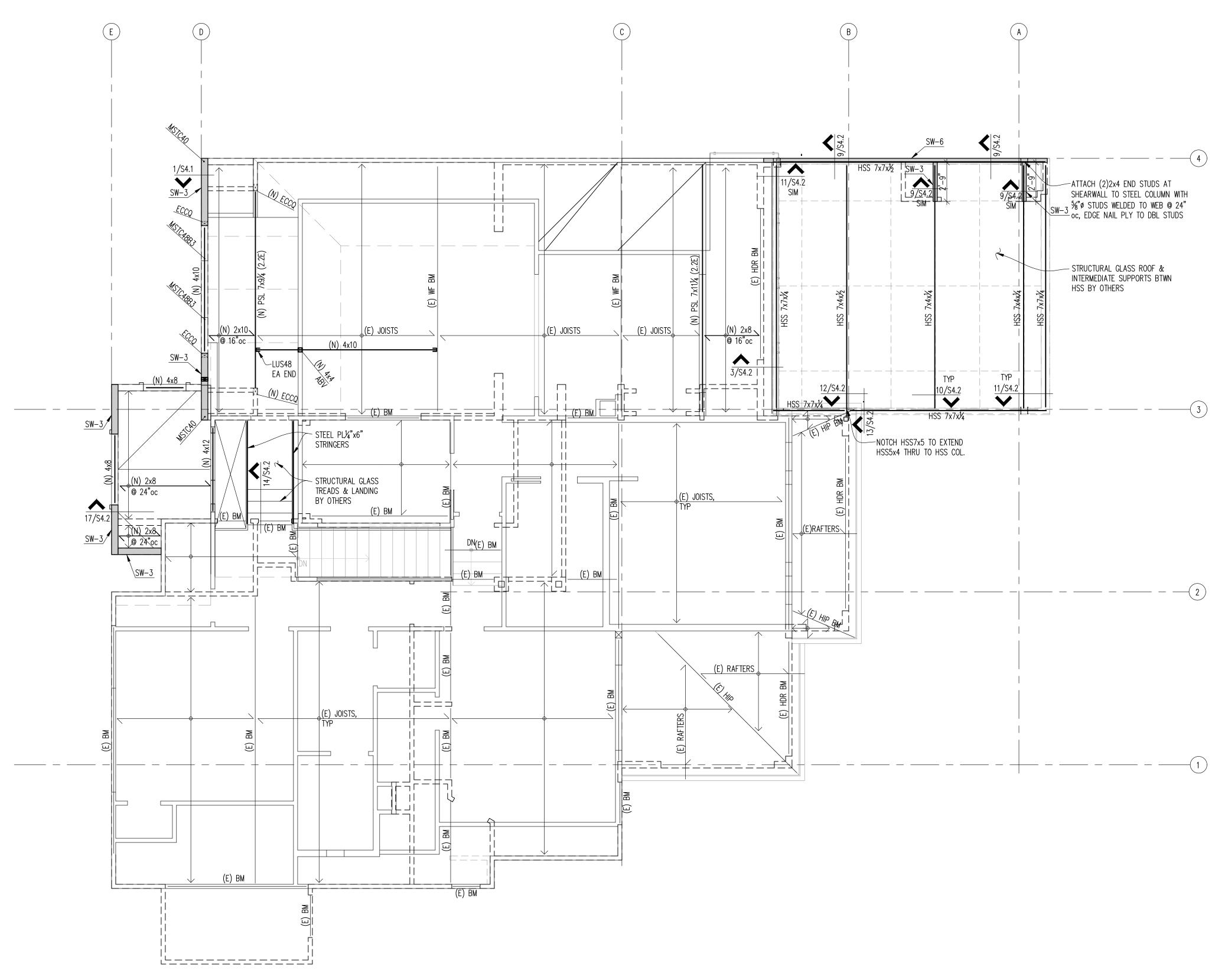


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<u>NOTES:</u> WALLS SHOWN IN HIDDEN ARE ON LEVEL BELOW (FIRST FLOOR). WALLS SHOWN IN SOLID ARE ON SECOND FLOOR.
 SEE ARCH FOR DIMENSIONS.
 SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS.
 STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.

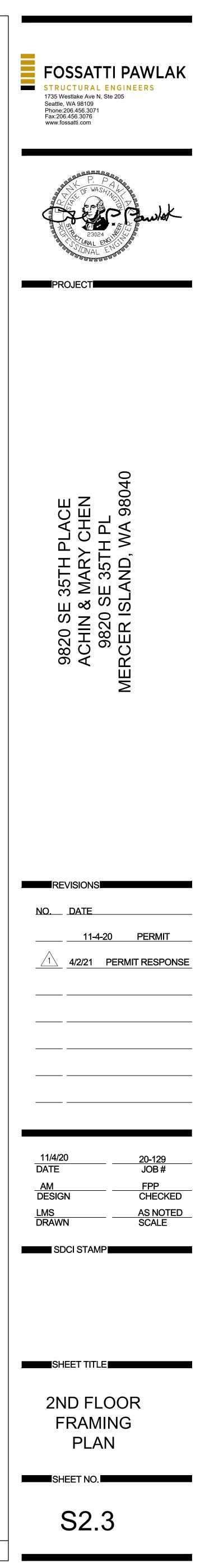
5. ALL HEADERS TO BE 4x8, UNO ON PLANS.

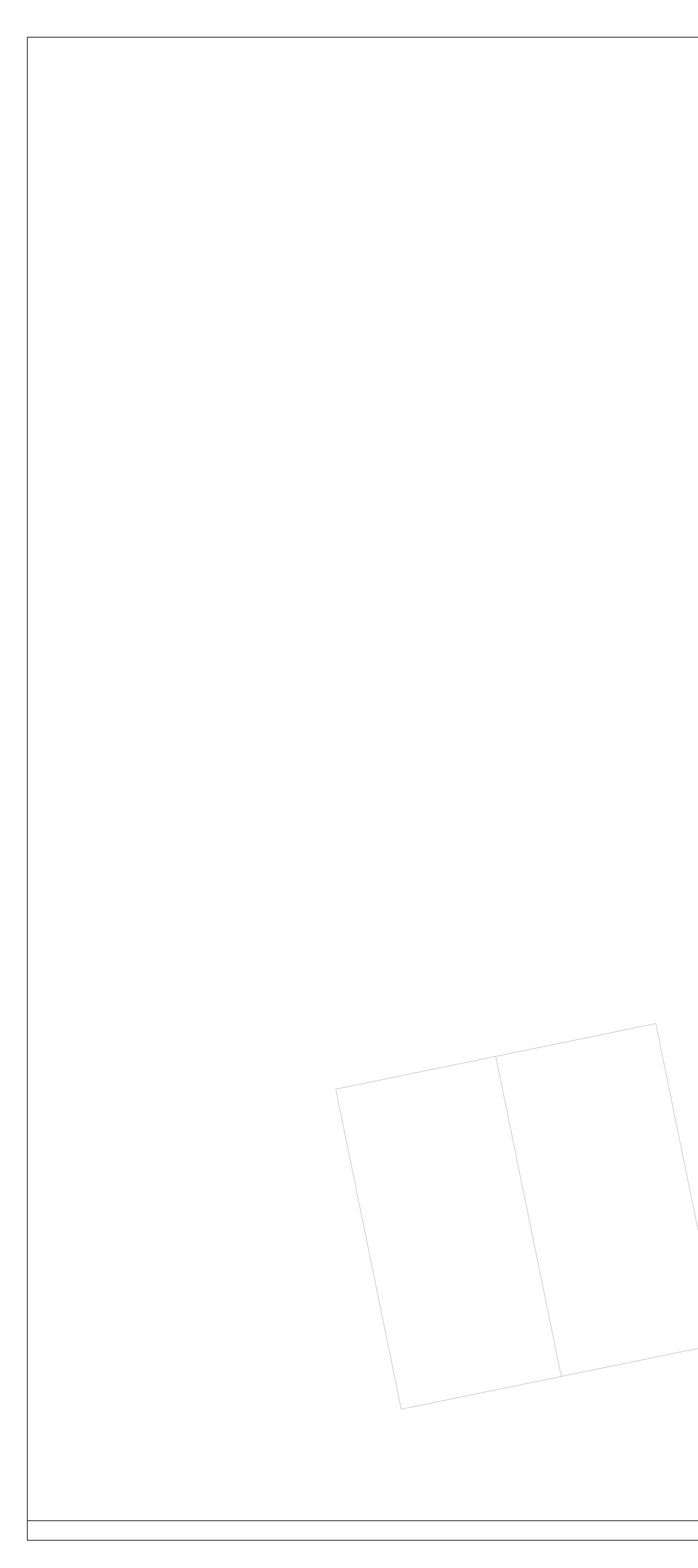
6. <u>SW-X</u> INDICATES SHEAR WALL TYPE, SEE 9/S4.1 FOR SW SCHEDULE.

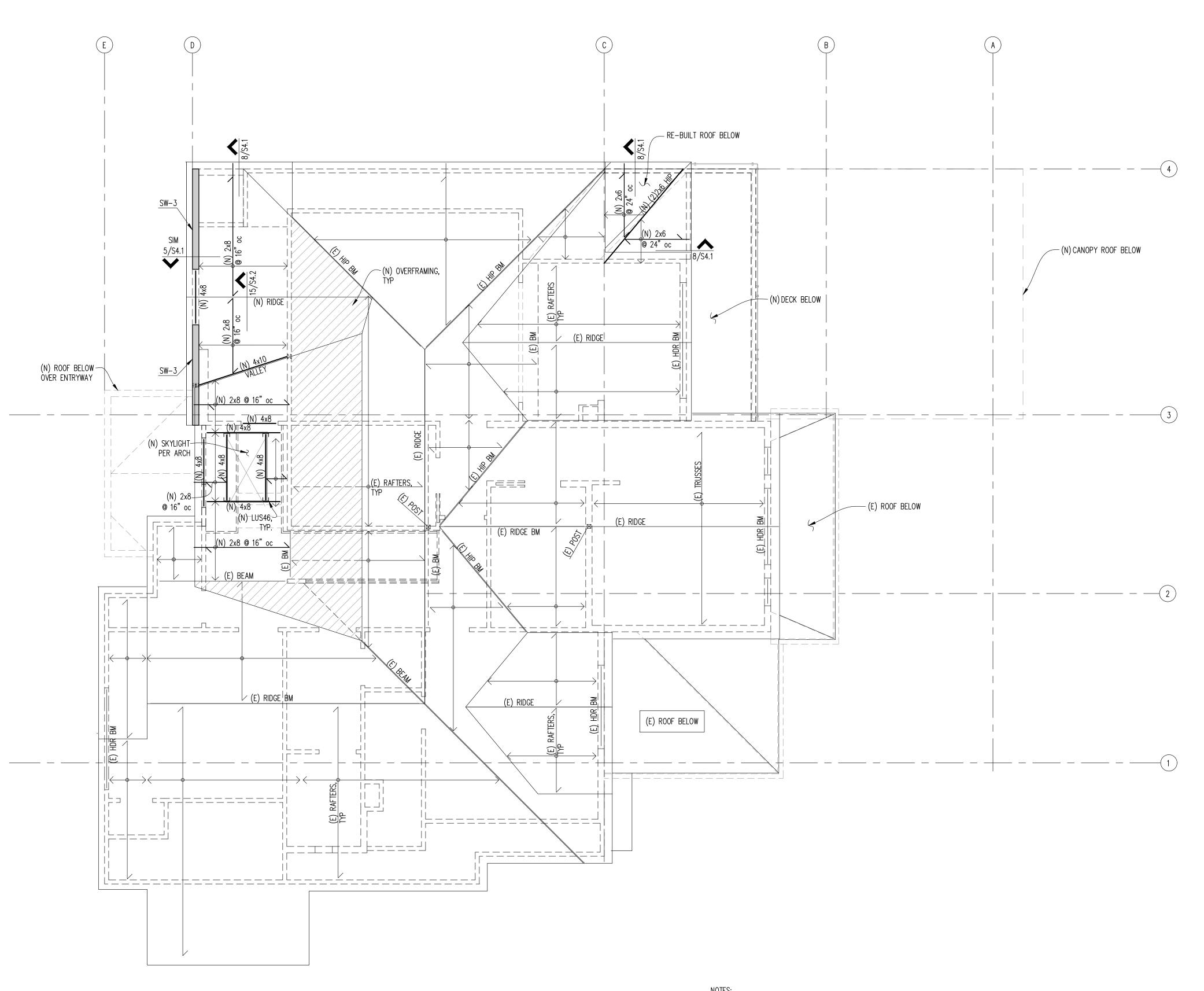
7. The indicates holdown type, see 10/S4.1 For holdown schedule.

8. ■ INDICATES SHEAR WALLS.
9. ► INDICATES INTERMEDIATE BEARING POINT.









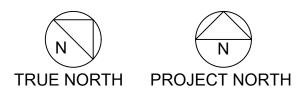
— (N) GARAGE BUILDING

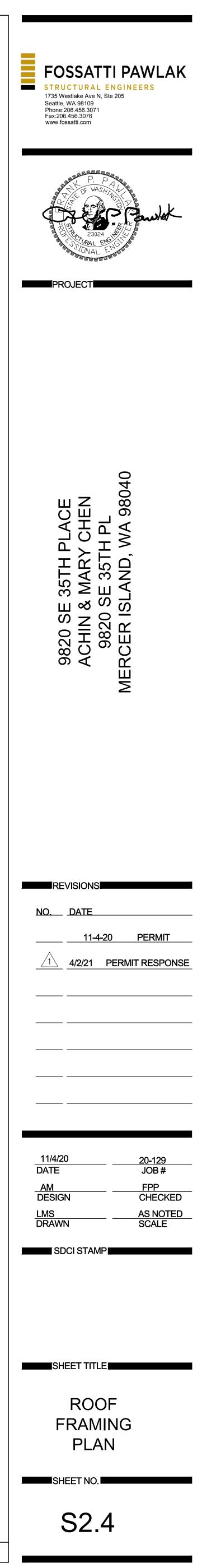
NOTES: 1. WALLS SHOWN ARE ON LEVEL BELOW (SECOND FLOOR). 2. SEE ARCH FOR DIMENSIONS.

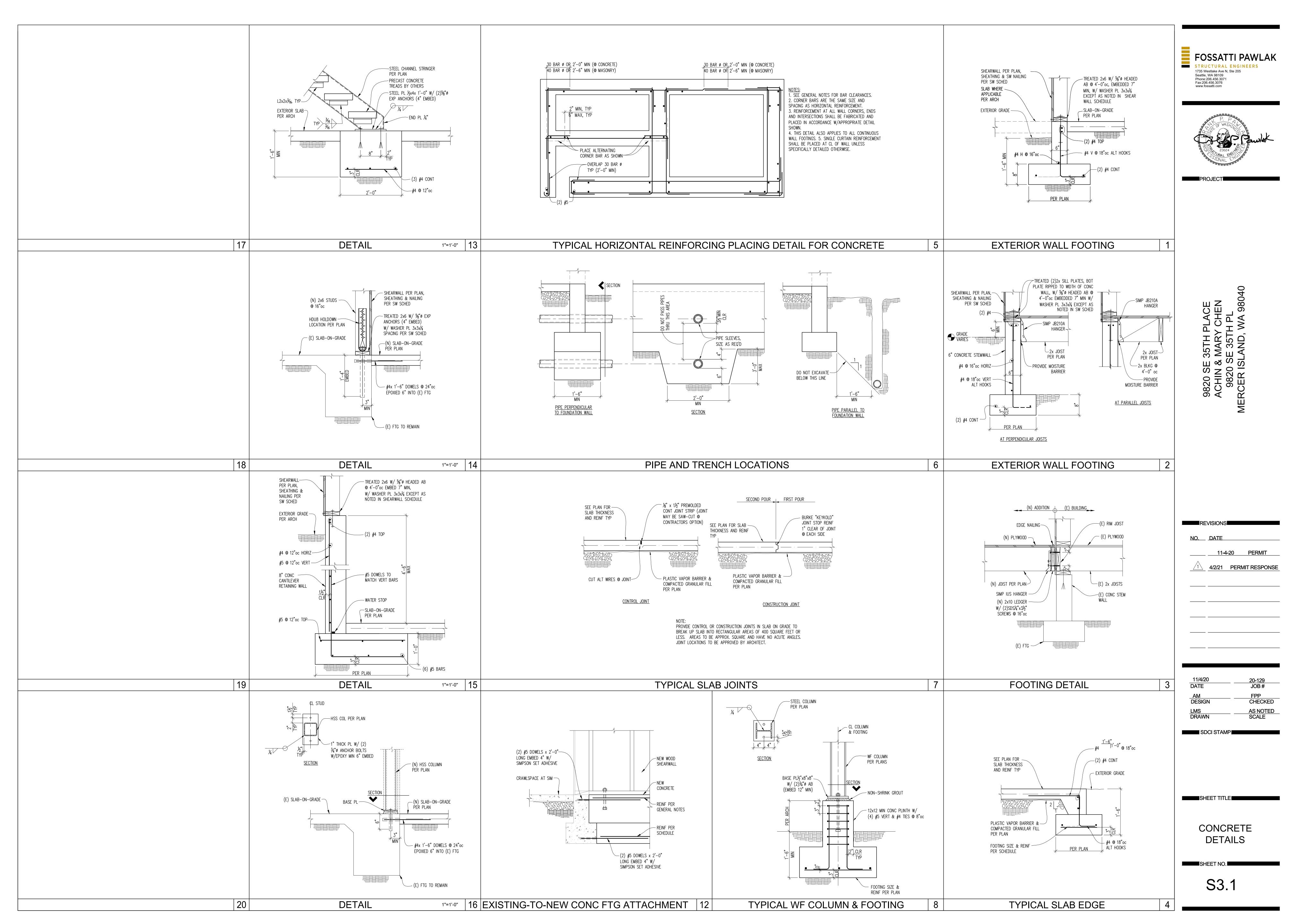
3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS. 4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.

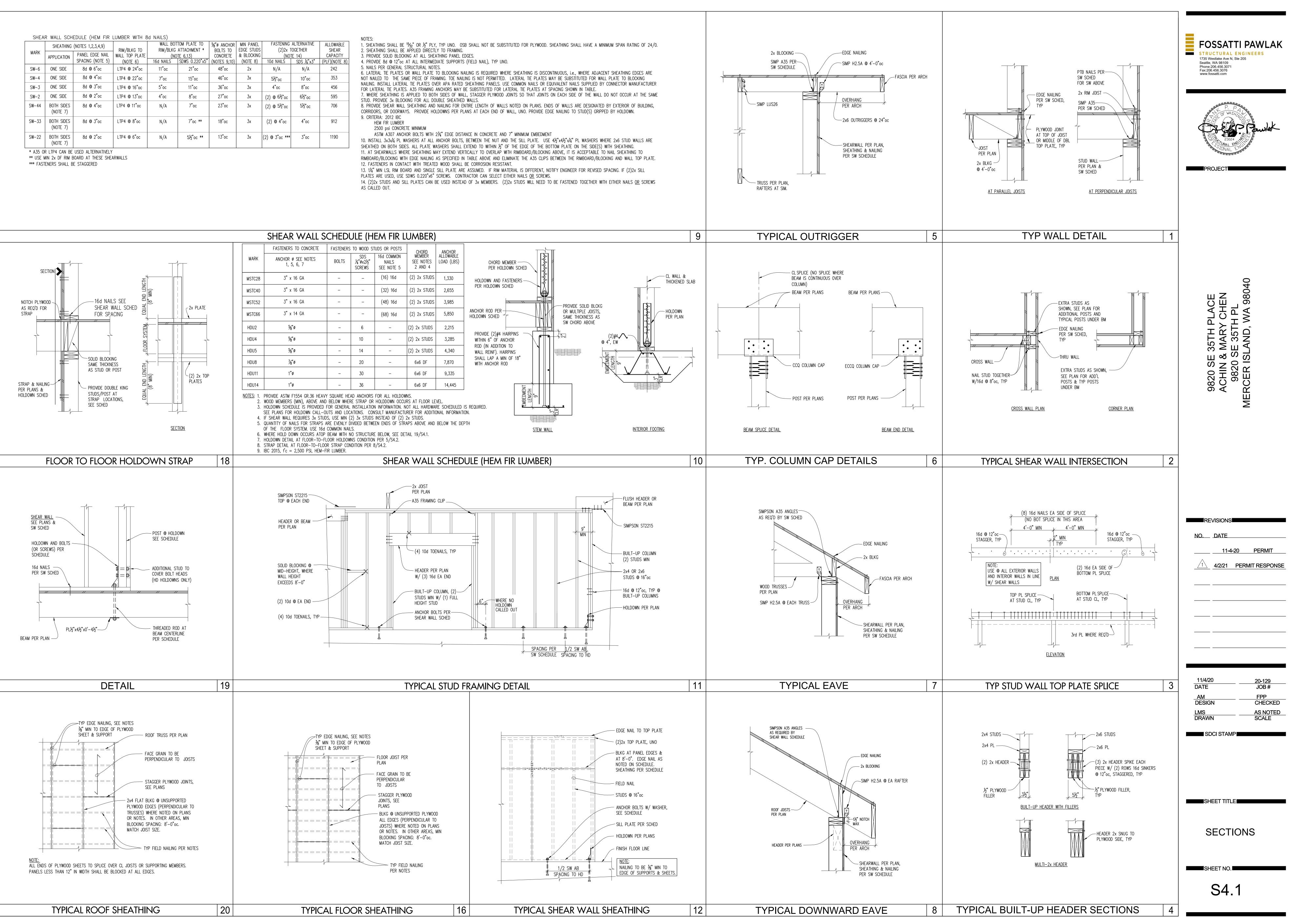
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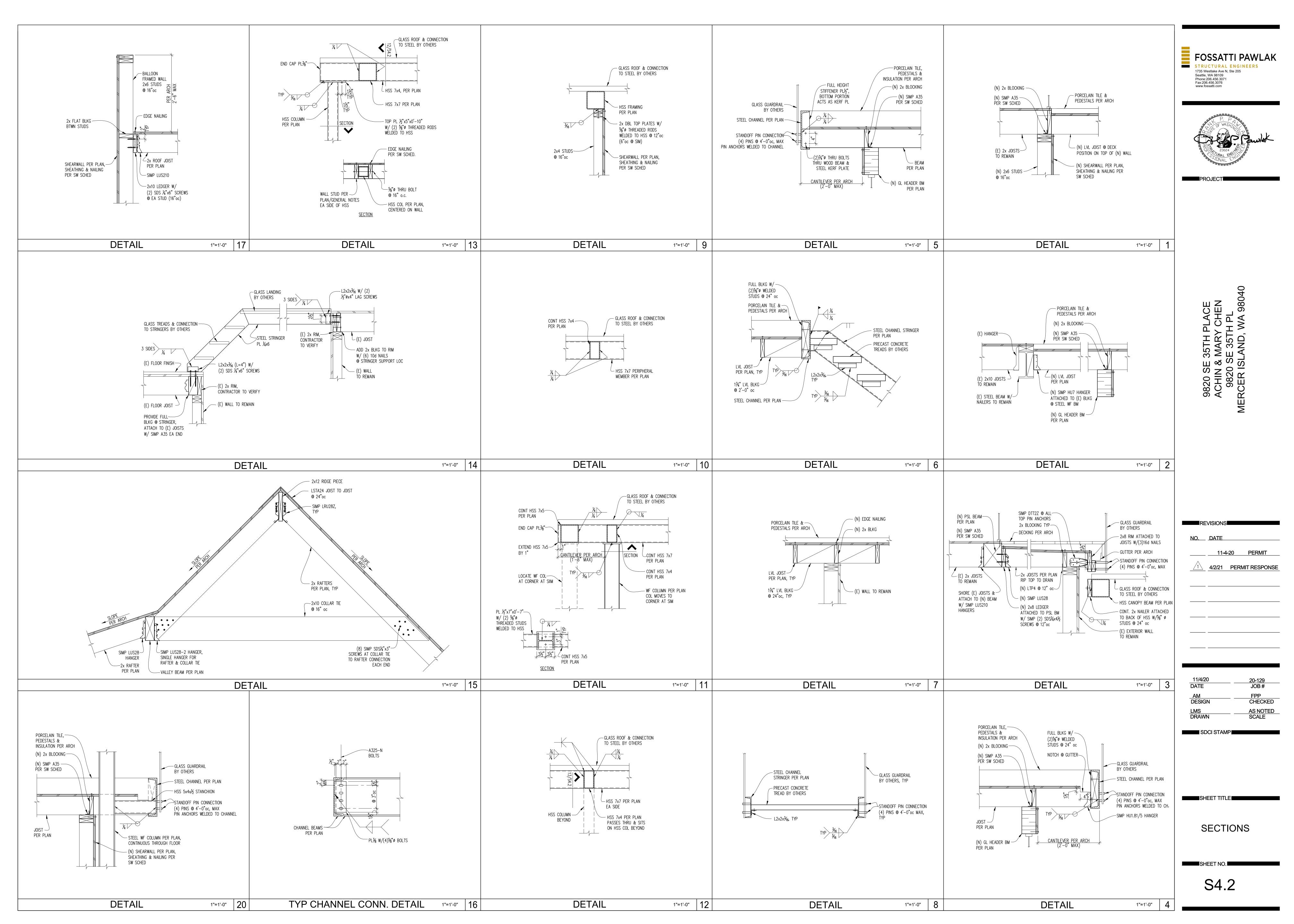
7. INDICATES SHEAR WALLS. 8.
INDICATES INTERMEDIATE BEARING POINT.

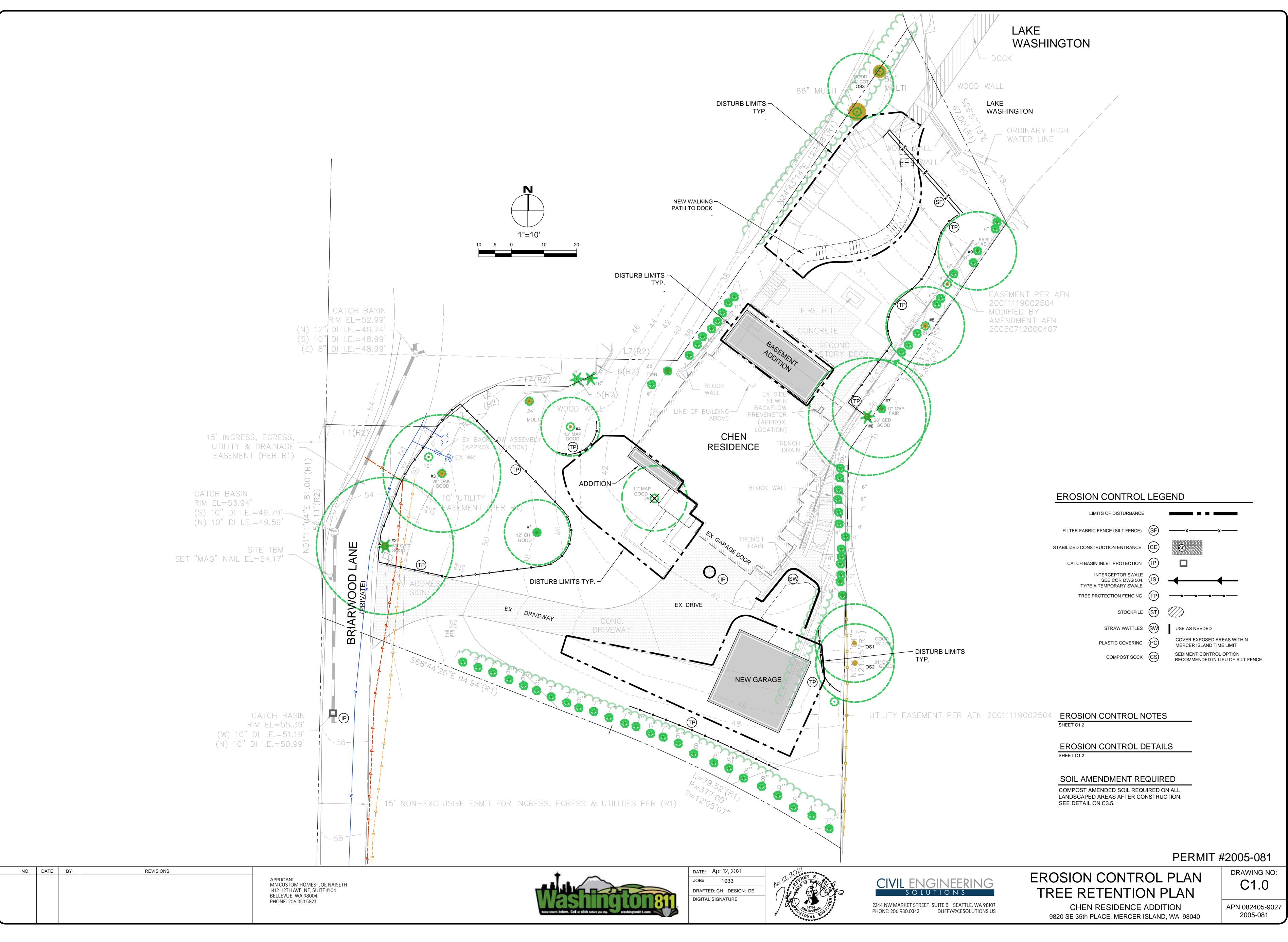


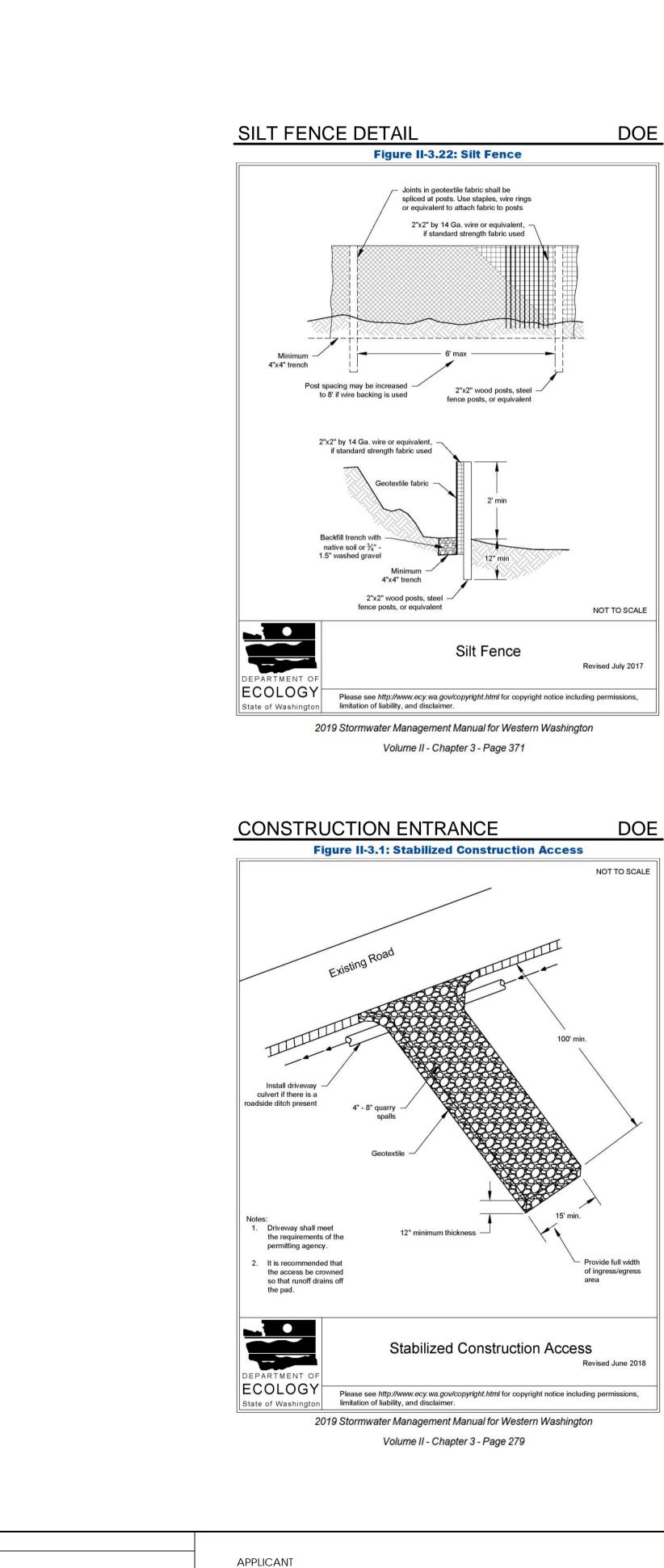












NO.DATEBYREVISIONSAPPLICANT MN CUSTOM HOMES: JOE NAISETH 1412 112TH AVE. NE, SUITE #104 BELLEVUE, WA 98004 PHONE: 206-353-5823APPLICANT MN CUSTOM HOMES: JOE NAISETH 1412 112TH AVE. NE, SUITE #104 BELLEVUE, WA 98004 PHONE: 206-353-5823					
MN CUSTOM HOMES: JOE NAISETH 1412 112TH AVE. NE, SUITE #104 BELLEVUE, WA 98004	NO.	DATE	BY	REVISIONS	
					MN CUSTOM HOMES: JOE NAISETH 1412 112TH AVE. NE, SUITE #104 BELLEVUE, WA 98004

RECOMMENDED CONSTRUCTION SEQUENCE

A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:

1. HOLD AN ONSITE PRE-CONSTRUCTION MEETING.

2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN). 3. FLAG OR FENCE CLEARING LIMITS.

- 4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
- 5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- 6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- 7. CONSTRUCT SEDIMENT PONDS AND TRAPS.
- 8. GRADE AND STABILIZE CONSTRUCTION ROADS.

9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.

10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

11. RELOCATE SURFACE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.

12. COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.

13. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.

14. SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.

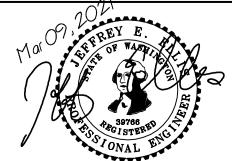
15. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPS IF APPROPRIATE.

DENUDED AREAS REQUIREMENTS

APRIL 1 TO SEPT 30 ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2. OCT 1 TO MARCH 31

ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

DATE: Mar 09, 2021				
JOB#	19	933		
DRAFT	ED: SS	DESIGN:	DE	
DIGITAL	SIGNA	TURE		



CIVIL ENGINEERING SOLUTIONS

2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107 PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US **TESC & CITY NOTES TESC DETAILS** CHEN RESIDENCE ADDITION 9820 SE 35th PLACE, MERCER ISLAND, WA

SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.

13. COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL 14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR

THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE

BEGINNING OF THE WET SEASON.

12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY

MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET

SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT. 11. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A

8. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.). 9. ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.

PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND. 7. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.

FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES. ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES,

CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED. 6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC

5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN

CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.

CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION. 4. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF

2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION. MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED. 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO

1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

THE STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS. AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RENUMBERED. FOR EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE NUMBERED 1, 2, 4, 5, 6, ETC.

EROSION CONTROL NOTES D.8.2 STANDARD ESC PLAN NOTES

CITY NOTES

- ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY A REVISION.
- APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDE CAUSED FROM THIS CONSTRUCTION. 3. CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL ST BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF TH AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY T FOR USE AT CONSTRUCTION SITES AND APPROVED BY T
- CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUEN STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SI
- REPLACED.
- 4. CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS
- 5. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ON 1.800.424.5555
- 6. DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIC MATERIAL MUST BE IMPORTED
- EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "ST
- MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YO 8. PROTECT ADJACENT PROPERTIES FROM ANY INCREASE
- SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) E ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT POND FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEER
- 9. CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITE STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVEN
- LEAVING THE SITE OR ENTERING THE STORM DRAINS.
- 10. PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, S OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC ST POLLUTION ON YOUR SITE.
- 11. ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO L DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR T
- GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERE ANY RAIN EVENT. 12. INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRU BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVI ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR
- ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERM DEVELOPMENT ENGINEER. 13. OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAI EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIB CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, D SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY I MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONS
- DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON T IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTR 14. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR T
- ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATI SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS RI REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVI MAINS.
- 15. REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECT
- 16. ROOF DRAINS MUST BE CONNECTED TO THE STORM DRA
- INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO AN 17. SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENA
- FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FU THROUGHOUT THE TERM OF THE PROJECT.
- 18. WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-V
- 19. REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION METER AND SERVICE LINE DETERMINED BY MERCER ISLA
- DEPARTMENT. 16. THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NO CONDITION, AS DETERMINED BY THE CITY OF MERCER IS REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIR PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAI
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- HYDROSTATIC HEAD TEST. 21. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR T ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATI SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS RI REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIV
- MAINS. 22. THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUE SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO PROJECT.

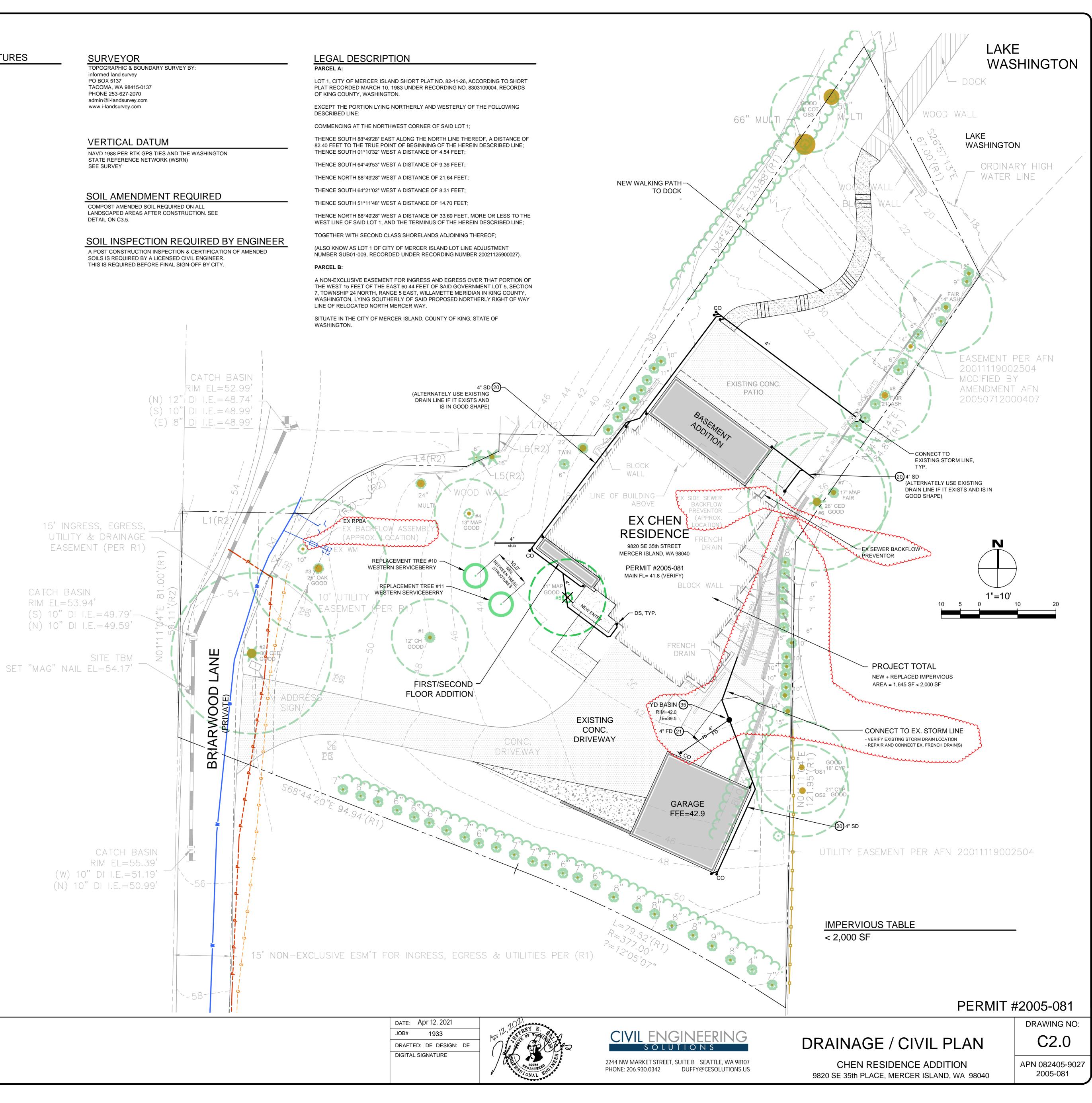
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 BY
 REVISIONS

 APPLICANT MN CUSTOM HOMES: JOE NAISETH 1412 112TH AVE. NE, SUITE #104 BELLEVUE, WA 98004 PHONE: 206-353-5823
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PRIVATE PVC STORM STRUCTURES

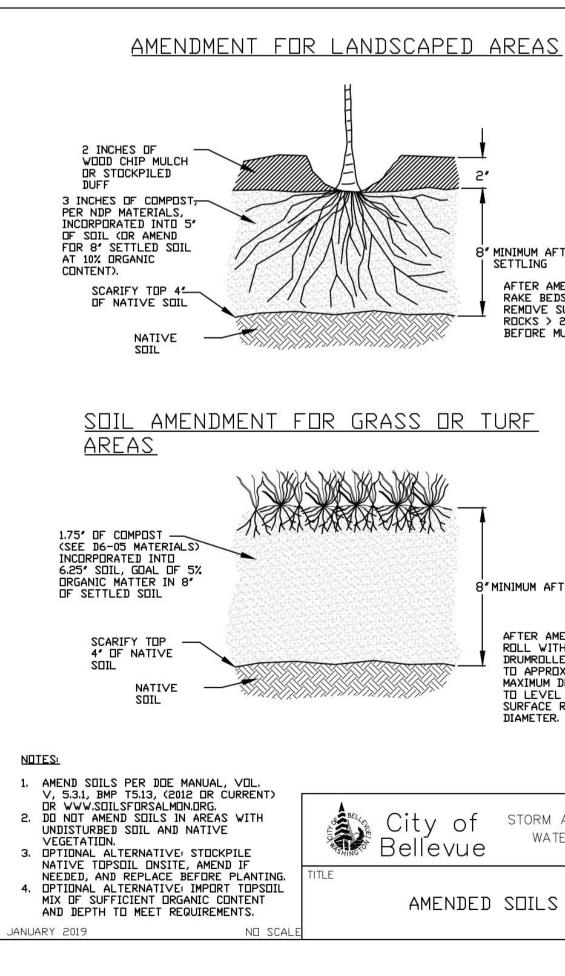


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SOIL AMENDMENT REQUIRED COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL BELOW.

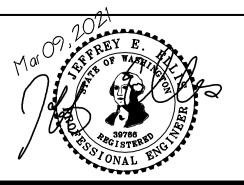
SOIL INSPECTION REQUIRED BY ENGINEER A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

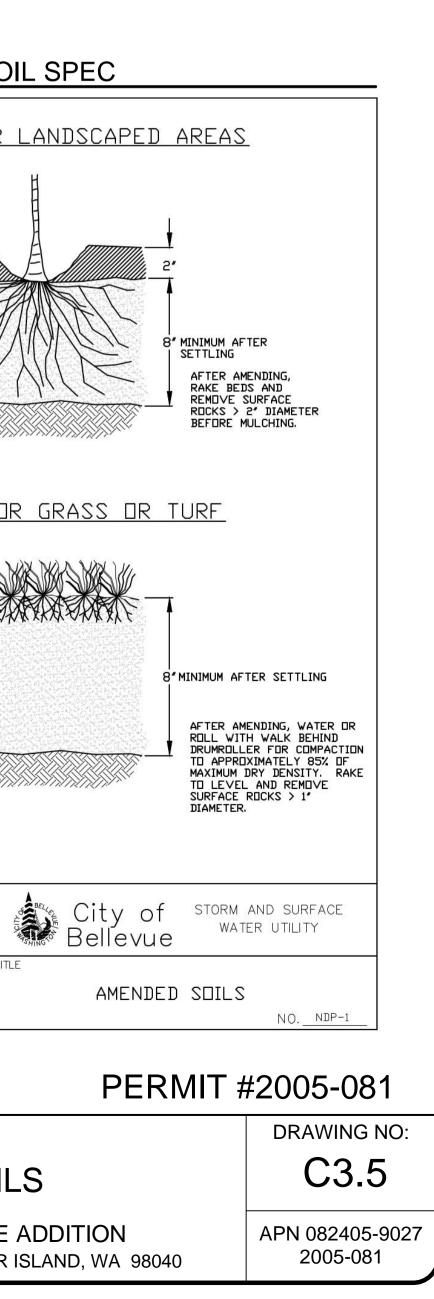
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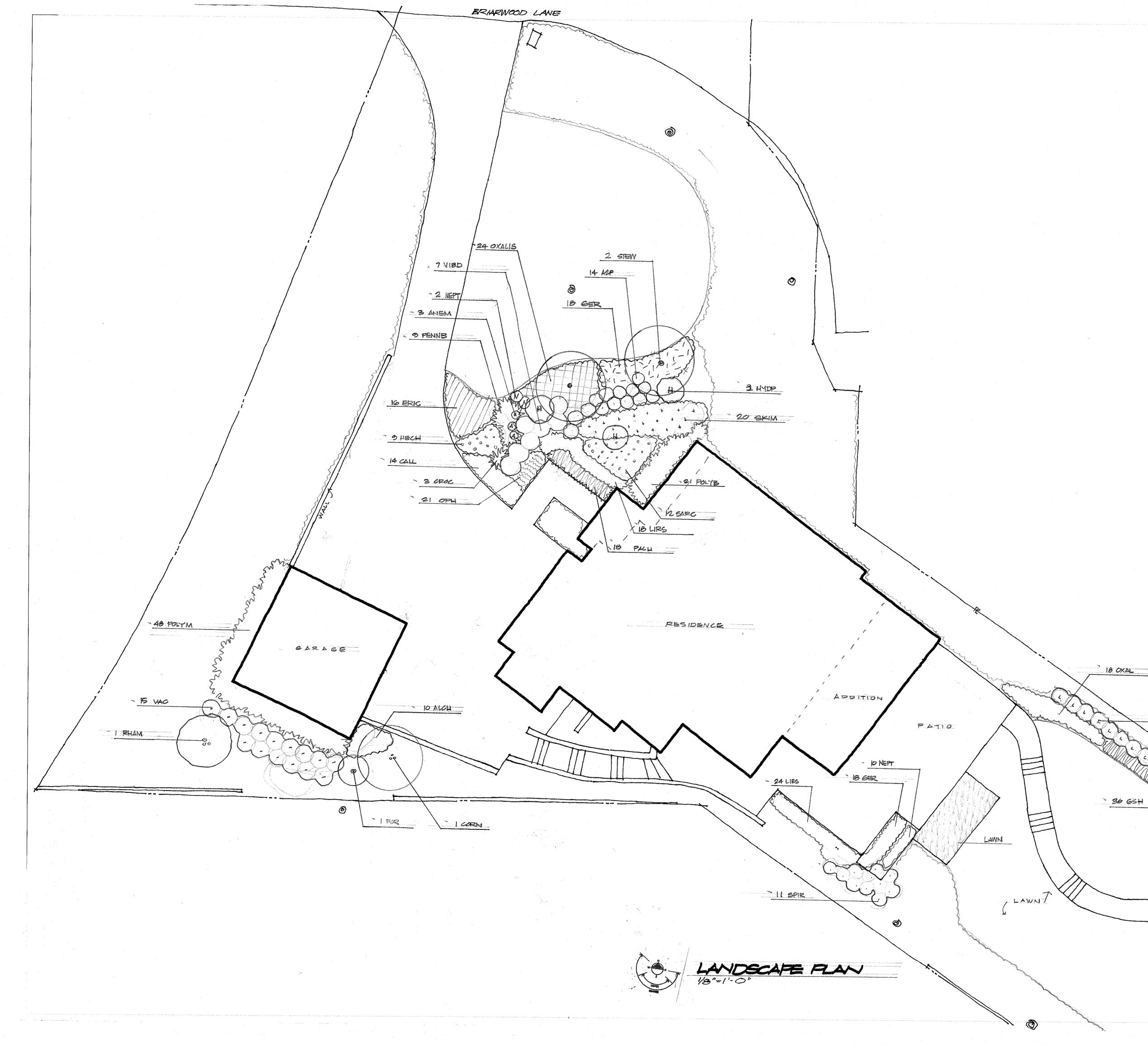


BMP DETAILS CHEN RESIDENCE ADDITION 9820 SE 35th PLACE, MERCER ISLAND, WA 98040









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·	June 1, 2021			· .		
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	3	ANEM	ANEMONE HYBRIDUS RUFFLED SWAN	ONE GALLON CAN		
	14	AZP	AZALEA PURPLE	1 GALLON CAN		
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			GREEN SPICE			
	3				7	
•	5	HYDL.	HYDRANGEA LIMELIGHT	5 GALLON CAN		
	13	LEUC	LEUCOTHOE CATESBAEI	2 GALLON		STATE OF WASHINGTON
						REGISTERED
	42	LIRS	LIROPE SPICATA/	QUARTS AT 18" TRI		KenLame
· · · · · · · · · · · · · · · · · · ·			SPREADING LIROPE	SPACING		KENNETH E. LARGE KLLA LANDSCAPE ARCHITEGTO, INC.
	4	МАН	MAHONIA REPANS	1 GALLON CAN		CERTIFICATE #301
	12	A 1007				
	12	NEPT	NEPTETA CATARIA CATNIP			на страна стр На страна стр
	21	OPH	OPHIOPOGON JAPONICUS	4' POTS		
			GREEN DWARF MONDO GRASS			
	42	OXAL	OXALIS OREGONA KLAMATH RUBY/	4" POTS		
			WOOD SORREL			
-	18	PACH	PACHYSANDRA TERMINALIS	4" POTS		
• • • • • • • • • • • • • • • • • • •			GROUND SPURGE	12" TRI SP		
	9	PENNLB	PENNISETUM LITTLE BUNNY	1 GALLON CAN	100 - 100 -	
	21	POLVB				
	~.	I ULIB	POLYSTICHUM POLYBLEHARUM TASSEL FERN	1 GALLON CAN		
	48	POLYM	POLYSTICHUM MUNITUM	1 GALLON CAN		
			SWORD FERN			Ш
	1	RHAM	RHAMNUS PURSCHIANA/	1 ¼" 8' B/B		AC AC
	:		CASCARA			PLA(
	12	SARCH	SARCOCOCCA HUMILIS	1 GALLON CAN		D, WA
						PROJECT / CLIENT: 9820 SE 35TH PLACE MERCER ISLAND, WA
1	20	SKIM	SKIMMIA JAPONICA (MALE)	1 GALLON CAN		LATH CLI
						R IS R IS
	11	SPIRG	SPIRAEA LIMEMOUND	5 GALLON CAN		
	2	STEW	STEWARTIA PSEUDOCAMELIA/	30" TRI SP 2.0" CALIPER B/B		PROJECT / CLIEI 9820 SE 35 ACHIN & MARY 9820 SE 35TH PI MERCER ISLANI
			JAPANESE STEWARTIA	E.V URLIFEK B/B		
	15	VAC	VACCINIUM OVATUM/ EVERGREEN	5 GALLON CAN		х 1
			HUCKLEBERRY	24" TRI SP		
	7	VIBD	VIBURNUM DAVIDII	1 GALLON CAN		
13 LEK	4	VIBSS	VIBURNUM SUMMER SNOWFLAKE	5 GALLON CAN		
						TOB NUMBER:
\sim					1	DRAWN: K
4m					C	HECKED
Chr. >					2 a	DATE: June 1, 21 REVISIONS:
MAL.						
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SX_11/102/~~ A	¥				1	

4 VIBSS

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· 4 MAL

SHEET TITLE:

LANDSCAPE PLAN

PERMIT SET SHEET NUMBER: -1.0

THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE, TYPE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION, AND INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES. Call Before You D**I**g 1-800-424-5555

NOTE:

A COURT OF LAW. 4. THE LEGAL DESCRIPTION IS PER RECORDS OF KING COUNTY RECORDER'S OFFICE, RECORDING NO. 20190419000135, DATED APRIL 19, 2019. A TITLE REPORT HAS NOT BEEN PROVIDED AT THIS TIME, THEREFORE NO INVESTIGATION WAS DONE PERTAINING TO EXISTING ENCUMBRANCES RELATING TO THE SUBJECT PARCEL SHOWN AND DESCRIBED HEREON. 5. FIELD WORK FOR THIS PROJECT WAS PERFORMED IN MARCH, 2020 AND IS THEREFORE A REFLECTION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTS WERE VISITED OR SET IN MARCH, 2020. THIS SITE CONTAINS IMPROVEMENTS NOT LOCATED OR SHOWN AS A PART OF

- THIS SURVEY. 6. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.

LEGAL DESCRIPTION

LOT 1, CITY OF MERCER ISLAND SHORT PLAT NO. 82-11-26, ACCORDING TO SHORT PLAT RECORDED MARCH 10, 1983 UNDER RECORDING NO. 8303109004, RECORDS OF KING COUNTY,

EXCEPT THE PORTION LYING NORTHERLY AND WESTERLY OF THE FOLLOWING DESCRIBED LINE:

THENCE SOUTH 88'49'28" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 82.40 FEET TO

THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE SOUTH 01"10'32" WEST A DISTANCE OF 4.54 FEET;

THENCE NORTH 88'49'28" WEST A DISTANCE OF 33.69 FEET, MORE OR LESS TO THE WEST LINE

(ALSO KNOW AS LOT 1 OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NUMBER SUB01-009,

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF THE WEST 15

FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, SECTION 7, TOWNSHIP 24 NORTH,

(PER TITLE REPORT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT

SURVEYOR'S NOTE: PORTION OF EASEMENT LOCATED OVER SUBJECT PARCEL ABANDONED AND RELEASED BY PARTIAL RELEASE OF EASEMENT RECORDING NUMBER 9906100311,

SURVEYOR'S NOTE: THESE ITEMS AFFECT THE PROPERTY, EASEMENT LIES FIVE FEET ON

BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR

DISCLOSED BY WOODSON SHORT SUBDIVISION FILE NO. MI-82-11-26 RECORDED UNDER

SURVEYOR'S NOTE: DOCUMENT PERTAINS TO THE MAINTENANCE OF SEWER FACILITIES LOCATED IN SEWER EASEMENT SHOWN ON MERCER ISLAND SHORT SUBDIVISION RECORDING

SURVEYOR'S NOTE: THIS ITEM AFFECTS THE PARCEL EASEMENT LIES FIVE ON EACH SIDE OF THE UNDERGROUND POWER LINES AS CONSTRUCTED WITHIN THE WEST 20.00 FEET OF

PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

RANGE 5 EAST. WILLAMETTE MERIDIAN IN KING COUNTY, WASHINGTON, LYING SOUTHERLY OF SAID

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1;

THENCE SOUTH 64'49'53" WEST A DISTANCE OF 9.36 FEET;

THENCE NORTH 88'49'28" WEST A DISTANCE OF 21.64 FEET;

THENCE SOUTH 64°21'02" WEST A DISTANCE OF 8.31 FEET;

THENCE SOUTH 51"11'48" WEST A DISTANCE OF 14.70 FEET;

RECORDED UNDER RECORDING NUMBER 20021125900027).

NO. 4202–2978599, DATED MARCH 14, 2018 AT 7:30 AM)

RECORDS OF KING COUNTY RECORDER'S OFFICE.

GRANTED TO: MERCER ISLAND SEWER DISTRICT

RECORDING INFORMATION: 5179425 AND 5179426

NUMBER 198303109004. NOT SHOWN ON MAP

RECORDING INFORMATION: 8405041140

THE PARCEL. NOT SHOWN ON MAP.

RECORDING INFORMATION: 20011119002504

RECORDING INFORMATION: 20050712000407

MODIFICATION AND/OR AMENDMENT BY INSTRUMENT:

SURVEYOR'S NOTE: EASEMENTS SHOWN ON MAP

AND SURRENDER OF EASEMENT RIGHTS AND INTERESTS"

RECORDED: MAY 05, 1931

APPURTENANCES HERETO

RECORDED: JULY 08, 1960

RECORDING NUMBER 8303109004.

RECORDING NO.: 8404180412

RECORDED: MAY 04, 1984

CORPORATION

CONDITIONS THEREOF:

RECORDED: JULY 12, 2005

RECORDED: NOVEMBER 25, 2002 RECORDING NO.: 20021125002786

RECORDING INFORMATION: 2670081

FOR: ELECTRIC TRANSMISSION LINE

6. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:

7. EASEMENT, INCLUDING TERMS AND CONDITIONS CONTAINED THEREIN:

FOR: SEWER PIPELINE OR LINES AND ALL NECESSARY CONNECTIONS AND

EACH SIDE OF THE SEWER LINE AS CONSTRUCTED, NOT SHOWN ON MAP.

8. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS,

9. SIDE SEWER EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:

IN FAVOR OF: PUGET SOUND POWER AND LIGHT COMPANY, A WASHINGTON

14. GRANT AND AGREEMENT OF UNDERGROUND UTILITY EASEMENT AND THE TERMS AND

15. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RELINQUISHMENT

CITY OF MERCER ISLAND SHORT PLAT, RECORDING NUMBER 198303109004.

SURVEYOR'S NOTE: THIS DOCUMENT RELINQUISHES A PORTION OF THE INGRESS, EGRESS, UTILITIES AND DRAINAGE EASEMENT SHOWN OVER THE EASTERLY PORTION OF LOT 1 OF

BETWEEN: RALPH E. SEIGEL AND ALICIA A. SEIGEL, HUSBAND AND WIFE

LOCATION: ALONG THE LINE AS CONSTRUCTED WIDTH: UNDISCLOSED

10. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:

FOR: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM

AND: JAMES K. LEE AND MIMI D LEE, HUSBAND AND WIFE

IN FAVOR OF: PUGET SOUND POWER & LIGHT COMPANY

OF SAID LOT 1, AND THE TERMINUS OF THE HEREIN DESCRIBED LINE;

TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING THEREOF;

PARCEL A:

WASHINGTON.

PARCEL B:

SCHEDULE B

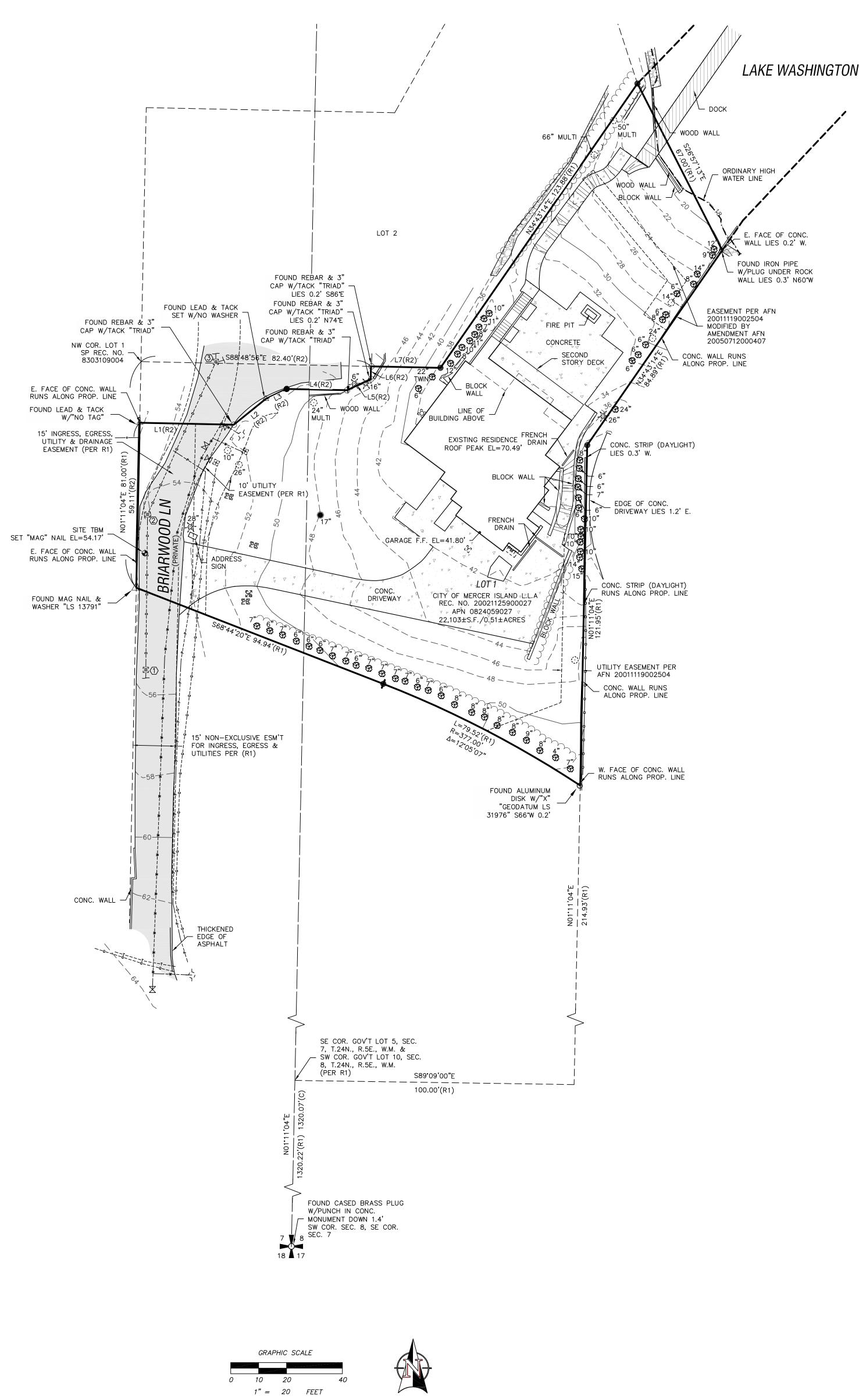
- PROVIDE TOPOGRAPHIC INFORMATION OF THE PARCEL AS DESCRIBED HEREON.
- 2. THIS SURVEY WAS MADE BY FIELD TRAVERSE USING A LEICA 1203 3" ROBOTIC TOTAL STATION AND GS14RTK GPS WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY
- STANDARDS AS SET FORTH BY WAC 332-130.

- 3. THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY

- 1. THE PURPOSE OF THIS SURVEY IS TO DETERMINE THE LOCATION OF THE BOUNDARIES AND

- SURVEYOR'S NOTES

TOPOGRAPHIC SURVEY



HORIZONTAL DATUM NAD 1983(2011); PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

REFERENCE SURVEYS

R1) CITY OF MERCER ISLAND SHORT PLAT, RECORDING NO. 8303109004 R2) CITY OF MERCER ISLAND LOT LINE ADJUSTMENT, RECORDING NO. 20021125900027 RECORDS OF KING COUNTY RECORDER'S OFFICE

LEGEND

- FOUND SECTION CORNER (AS SHOWN)
- SET REBAR & CAP EMW LS #44651
- FOUND REBAR & CAP "TRIAD"
- \triangle FOUND LEAD W/TACK
- \oplus FOUND IRON PIPE (AS SHOWN) ✤ SET "MAG" NAIL SITE TEMPORARY BENCHMARK (TBM)
- GUARD POST
- 🖸 GAS METER
- [PMT] POWER METER
- 臣臣 POWER PULL BOX ISTORM DRAIN CATCH BASIN
- Υ YARD DRAIN
- (s) SEWER MANHOLE
- 🔀 IRRIGATION CONTROL BOX
- ′္င်ံ႕ FIRE HYDRANT
- H WATER METER
- 🛛 WATER VALVE DECIDUOUS TREE
- 중국 CEDAR TREE
- EVERGREEN TREE
- (R) DISTANCE PER REFERENCE
- (C) DISTANCE AS CALCULATED
- LS LICENSED LAND SURVEYOR
- ASPHALT SURFACE CONCRETE SURFACE
- ROCKERY

LINE TYPE LEGEND

WOOD FENCE	
—	
DDDD	

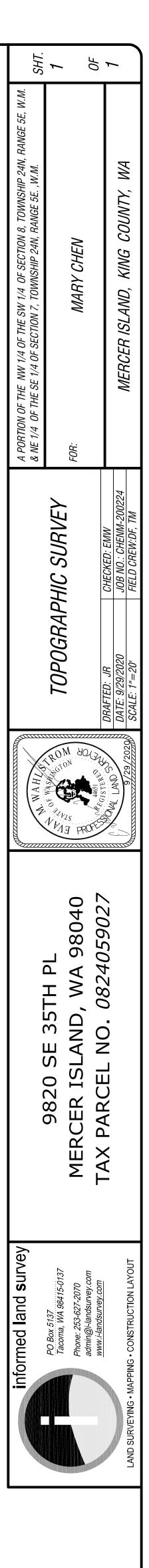
- STORM DRAIN LINE EDGE OF VEGETATION
- ____ · ___ · ___ · ___ · ___ · ___ ORDINARY HIGH WATER LINE

STORM DRAIN STRUCTURE TABLE

- (1) CATCH BASIN RIM EL=55.39' (W) 10" DI I.E.=51.19' (N) 10" DI I.E.=50.99' 2 CATCH BASIN RIM EL=53.94' (S) 10" DI I.E.=49.79' (N) 10" DI I.E.=49.59'
- ⟨₃⟩ CATCH BASIN RIM EL=52.99' (N) 12" DI I.E.=48.74' (S) 10" DI I.E.=48.99' (E) 8" DI I.E.=48.99'

LINE TABLE

	BEARING	DISTANCE
L1	N88°49'00"W	33.69'
L2	S51°12'16"W	14.70'
L3	S64°21'30"W	8.31'
L4	N88'49'00"W	21.64'
L5	S64'50'21"W	9.36'
L6	S01°11'00"W	
L7	S88°48'56"E	24.90'



S HINGTON	evelopm 9611 Mercer Is nspection Re	ercer Isla ent Servic SE 36th Street sland, WA 9804 equest Line 236 formation 236-5	NG PERMIT rmit No. 9908-047 roject No. ermit No.					
Site Address: 9820 SE	35TH PL			Valuation:		84,444.00	Parcel No.	824059027
Owner:SIEGEL RAMailing9820 SE 35'Address:Mercer IslaPhone:(206)232-11	ALPH E+A FH PL nd	ALICIA A WA 980	40	Description	of Wo	rk:		E & REMODEL
			т	egal Descri	intio	<u> </u>		
Lot:		Block:	L		Plat:	L <u>L</u>		
Contractor: MILLER				I Address				
Phone: (425)644-2 Type of Const.: BUILD		State (cc Load:	Contractor 1	Lic: MILLEN		50L	MI Business Li 0.00 Map Lo	
					103.			
Sprinkler Req'd:	Reason:			Building SF:		0.00	Decks SF:	0.00
Fire Alarm Req'd:	Reason:			Garage SF:		0.00	Total SF:	
Associated Perm	nits:							
	FEES		Receip	t # & Date	e	Co	omments	
Surcharge Building Permit Fee Land Clearing Energy Code Plan Check Deposit TOTAL FEE TOTAL FEES PAJ		4.50 834.15 55.00 632.29 1,580.94 1,580.94	507: 507: 507:	 10/1/1999 10/1/1999 10/1/1999 10/1/1999 10/1/1999 8/6/1999 1/1/-4713 1/1/-4713 1/1/-4713 1/1/-4713 1/1/-4713 1/1/-4713 			•	·
	D \$							

Permit expires if work is not commenced within 180 days or ceases for more than 180 days. The City of Mercer Island is not responsible for reviewing the applicability of private covenants to this permit. Compliance with private plat covenants is the sole responsibility of the applicant/owner.

Signature of Owner/Contractor/Authorized Agent

Date

Project No. Main Permit No. Permit No.

9908-047

INSPECTION NAME DATE NAME DATE NAME DATE NAME S LAND CLEARING I
LAND CLEARING DATE Note Note Sev Control 1 CHADING Temp Prover Sev Control Temp Prover 1 CRADING Temp Prover Sev Sev Sev Sev 1 CRADING Temp Prover Sev Sev Sev Sev 2 CRADING Temp Prover Sev Sev Sev 3 Sev Sev Sev Sev Sev 3 Sev Sev Sev Sev Sev 4 Sev Sev Sev Sev Sev 0 FOUNDATION/ROOF DRAINAGE Sev Sev Sev 1 Sev Sev Sev Sev Sev 1 Sev Sev Sev Sev Sev 1 Sev Sev Sev Sev Sev 2 UNDER SLAB ELECTRICAL Sev Sev Sev Sev 3 UNDER SLAB ELECTRICAL Sev Sev Sev Sev 4 UNDER SLAB ELECTRICAL Sev Sev Sev Sev 2 UNDER SLAB ELECTRICAL Sev Sev Sev Sev
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Owner: SIEGEL R.	ALPH E+	ALICIA A		Description o REVISION 1				
Mailing9820 SE 35Address:Mercer Isla		WA 98	040					
Phone: (206)232-11	27							
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Contractor: MILLER	• MILLE			Address				
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Phone: (425)644-2	2253	State	Contractor	Lic: MILLE	MC0550L	М	I Business Lic	:#:
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Permit expires if work is not commenced within 180 days or ceases for more than 180 days. The City of Mercer Island is not responsible for reviewing the applicability of private covenants to this permit. Compliance with private plat covenants is the sole responsibility of the applicant/owner.

Man

12-8-99

Signature of Owner/Contractor/Authorized Agent

Date

Project No. Main Permit No. Permit No.

9908-047

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